

QUARTERLY CAPITAL PROJECTS STATUS REPORT

Reporting Agency: Administrative Office of the Courts
Report Quarter: 2022-4 (October)
Print Date: 10/20/2022

<u>Cabinet/Agency/Project Title</u>	<u>County</u>	<u>Initial Auth</u>	<u>Status</u>	<u>Constr % Compl</u>	<u>Contract Compl</u>	<u>Actual Subst</u>
Judicial Branch/AOC						
Barren County	Barren	2020-2022	Design/Phase A			
Bath County (Construction)	Bath	2018-2020	Design/Phase C			
Butler County	Butler	2020-2022	Design/Phase A			
Clinton County	Clinton	2020-2022	Design/Phase A			
Crittenden County	Crittenden	2020-2022	Design/Phase B			
Electronic Court Filing System	Multi	2022-2024	Planning			
Graves County	Graves	2022-2024	Design/Phase A			
* Hardin County - HVAC	Hardin	2022-2024	Planning			
Henry County (Renovation/Addition)	Henry	2014-2016	Complete/In Warranty	100	09/01/21	09/18/21
* Jefferson County Judicial Center - Carpet and Paint	Jefferson	2022-2024	Planning			
Jessamine County	Jessamine	2020-2022	Design/Phase A			
Leslie County	Leslie	2022-2024	Design/Phase A			
Madison County (Renovation)	Madison	2020-2022	Design/Phase C			
Nicholas County	Nicholas	2014-2016	Complete/In Warranty	100	11/01/21	11/01/21
Oldham County (Renovation/Addition)	Oldham	2018-2020	Design/Phase C			
Scott County	Scott	2020-2022	Design/Phase A			

* indicates projects involving General Fund supported bonds or "state" cash (General Fund, Investment Income, Capital Construction Surplus, Contingency Fund, Emergency Fund, or Statewide Deferred Maintenance Fund).

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Department of Education						
* Construct Kentucky FFA Leadership Training Classrooms and Activity Center	Breckinridge	2022-2024	Awaiting Initiation by Agency			
* Kentucky School for the Deaf Lee Hall Renovation	Boyle	2022-2024	A/E Selection			
* KSB Howser Hall Renovation	Jefferson	2016-2018	Complete/Not Closed Out	100	06/13/19	06/13/19
* KSB McDaniel/Scoggin Educational Building	Jefferson	2016-2018	Complete/Not Closed Out	100	09/02/18	09/02/18
* KSD High Voltage Electrical Service System	Boyle	CPBOC-9/01/17	Complete/Closed Out	100	10/30/18	10/30/18
* KSD New Elementary Building	Boyle	2016-2018	Complete/Not Closed Out	100	02/21/19	02/21/19
* State Schools Dormitory and Cottage Renovations	Multi	2022-2024	Awaiting Initiation by Agency			
* State Schools Roof Repair and Replacement Pool - 2020-22 - Kentucky School for the Blind Roofs Reported to CPBOC on 7/21/2022	Jefferson	Pool	In Construction	1	12/22/22	
* State Schools Roof Repair and Replacement Pool - 2022-24 - Kentucky School for the Deaf Roofs Reported to CPBOC on 7/21/2022	Boyle	Pool	In Construction	5	12/22/22	
Education and Labor Cabinet/General Administration						
Construct Carl D. Perkins Fork Truck Storage and Training Building	Johnson	2022-2024	Awaiting Initiation by Agency			
Renovate Carl D. Perkins Medical Wing	Johnson	2022-2024	Awaiting Initiation by Agency			
Renovate McDowell Vocational Rehabilitation Center	Jefferson	2022-2024	In Construction	25	12/15/22	
Education and Labor Cabinet/KY Educational Television						
KET FCC Repacking	Multi	CPBOC-8/01/17	Complete/Not Closed Out	100	04/26/19	04/26/19
* Public Safety Emergency Warning and Alerting	Multi	2022-2024	Awaiting Initiation by Agency			
* Transmitter and Repack	Multi	2018-2020	Complete/Not Closed Out	100	08/01/19	08/01/19
Addition to KET FCC Repacking - ancillary systems and equipment upgrades that the FCC program will not reimburse as well as replacement of microwave radios						
Energy & Environment Cabinet/Environmental Protection						

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* Maxey Flats Cap Comments: Construction of the cap is complete. Periodic subsidence and erosion surveys are contracted to monitor the cap and drainages. Surveys are conducted in the Spring and Fall of each year.	Fleming	2012-2014	Construction/Multiple Bid Packs			
* Southern Wood Treatment Site	Montgomery	2022-2024	Awaiting Initiation by Agency			
* State-Owned Dam Repair - Boltz Lake Dam	Grant	Pool	Awaiting Initiation by Agency			
* State-Owned Dam Repair - Bullock Pen Lake Dam Comments: Found leak in siphon pipe during warranty yearend review on 6/28/22. Contractor submitting repair plan for review.	Multi	Pool	Complete/Not Closed Out	100	08/02/21	08/02/21
* State-Owned Dam Repair - Cannon Creek Dam	Bell	Pool	Awaiting Initiation by Agency			
* State-Owned Dam Repair - Clements Lake Dam	Rowan	Pool	Awaiting Initiation by Agency			
* State-Owned Dam Repair - Marion County Sportsmans Club Lake Dam	Marion	Pool	Awaiting Initiation by Agency			
* State-Owned Dam Repair - Scenic Lake Dam Comments: Work complete, final completion on 4/29/22, contractor final payment on 5/11/22. Yearend warranty review scheduled for 2/2/23.	Henderson	Pool	Complete/In Warranty	100	01/23/22	03/02/22
* State-Owned Dam Repair - Willisburg Lake Dam	Washington	Pool	A/E Selection			

Finance and Administration Cabinet/Facilities & Support Services

* Air Handler Replacement and Repair - Central Lab Reallocation from Upgrade State Data Center Readiness (\$112,320) and Council of State Governments Building Complex (\$77,380) Comments: Project equipment delivery delayed	Franklin	2020-2022	In Construction	10	08/01/22	
* Cabinet for Human Services Building - Escalators Replacement/Elevators Upgrade Comments: Out to bid. Bid Date September 20, 2022	Franklin	2022-2024	Bidding			
* Capitol Campus Renovation \$5 million was reallocated from Fourth Floor Capitol Renovation	Franklin	2020-2022	Design/Phase A			
* Capitol Campus Renovation - Phase II	Franklin	2022-2024	Awaiting Initiation by Agency			
* DFSS Maintenance Pool - 2018-20 - Central Lab Boiler Replacement Reported to CPBOC on 10/15/2019	Franklin	Pool	Complete/Not Closed Out	100	03/20/21	11/20/20
* DFSS Maintenance Pool - 2020-22 - Capitol Annex Exterior Repairs	Franklin	Pool	Awarding Contract			

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Reported to CPBOC on 9/29/2022						
* DFSS Maintenance Pool - 2020-22 - Governor's Mansion Chiller and Water Line Reported to CPBOC on 7/30/2021 Comments: Contractor working to complete installation	Franklin	Pool	In Construction	99	06/30/22	
* DFSS Maintenance Pool - 2020-22 - Health Services Building, HVAC & Piping, Phase II Reported to CPBOC on 9/23/2021 Comments: Project is finishing up well.	Franklin	Pool	In Construction	95	09/30/22	
* DFSS Maintenance Pool - 2020-22 - Libraries and Archives HVAC Replacement Reported to CPBOC on 5/19/2022 Comments: Project is on budget and on schedule	Franklin	Pool	In Construction	15	05/06/23	
* DFSS Maintenance Pools - Halon System Replacement Reported to CPBOC on 11/19/2020	Franklin	Pool	Complete/In Warranty	100	01/10/22	01/10/22
* Elevator Upgrades Phase 1	Multi	2020-2022	In Construction	60	05/31/23	
* Emergency Generator Repair or Replacement, COT/CHR	Franklin	2018-2020	Complete/Not Closed Out	100	05/15/21	05/15/21
* Fourth Floor Capitol Renovation \$5 million in bond funds authorized was reallocated to Capitol Campus Renovation	Franklin	2020-2022	Cancelled			
* HVAC Replacement - CHR Building Comments: Main portions of project are complete. Waiting on equipment delivery for final completion	Franklin	2016-2018	In Construction	99	03/05/23	
* HVAC Replacement and Repair COT Building Comments: Primary project is complete. Remaining Funds being used for improvements to controls of Liebert Units in Server Areas	Franklin	2020-2022	Construction/Multiple Bid Packs			
* Install Energy Management System Controls	Multi	2014-2016	Construction/Multiple Bid Packs			
* L & N Building Exterior Upgrade	Jefferson	2022-2024	Awaiting Initiation by Agency			
* L&N Building Security and Structural Upgrades	Jefferson	2018-2020	Complete/Not Closed Out	100	03/20/22	03/20/22
* Upgrade Capitol Mechanical and Electrical System, Phase I	Franklin	2018-2020	Revising/Rebidding			
* Upgrade L&N Building	Jefferson	2016-2018	Complete/Not Closed Out	100	08/31/19	07/31/19

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General Government Cabinet/KY River Authority						
Construct Lock and Dam 10 Comments: Dam 10 C86X The punch list included repair of the east closure cell damaged by the crane accident. River conditions dictate when the repair could be accomplished. Final completion was extended to 7/28/22 for the repair which has been accomplished.	Multi	2016-2018	Complete/In Warranty	99	12/03/21	12/03/21
Design and Repair Dam 7	Multi	2022-2024	Awaiting Initiation by Agency			
Design Lock 5	Multi	2022-2024	Awaiting Initiation by Agency			
Locks 2 and 3 Upper Guide Wall Repairs Initiated under prior 2020-2022 authorization Comments: design complete for replacement of the upper guide walls for KY River Lock & Dams #2 and #3.	Multi	2022-2024	Bidding			
General Government Cabinet/Military Affairs						
* Armory Modernization and DMA Maintenance Pools - 2018-20 - DMA Lexington NGA Interior Upgrade Submitted as new project rather than reported as a pool allocation	Fayette	CPBOC-1/01/20	Complete/Not Closed Out	100	10/24/20	10/24/20
* Armory Modernization Pool - 2018-20 - DMA Leitchfield Readiness Center Assembly Hall Addition Reported to CPBOC on 10/15/2019	Grayson	Pool	Complete/Not Closed Out	100	03/15/21	03/15/21
Construct Chargeable Housing Facility Wendell H. Ford Regional Training Center	Muhlenberg	2022-2024	Awaiting Initiation by Agency			
Construct Civil Support Team Facility	Jefferson	2022-2024	Awaiting Initiation by Agency			
* Construct Conditioned Storage Facility - Kentucky Emergency Management	Franklin	2022-2024	Awaiting Initiation by Agency			
Construct Field Maintenance Shop - Louisville	Jefferson	2022-2024	Awaiting Initiation by Agency			
Construct Field Maintenance Shop 1 Addition - Ashland	Boyd	2022-2024	Awaiting Initiation by Agency			
Construct Harold L. Disney Training Site Athletic Field	Knox	2022-2024	Awaiting Initiation by Agency			
Construct New Barracks at Harold L. Disney Training Site	Knox	2022-2024	Awaiting Initiation by Agency			

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Construct New Barracks at Wendell H. Ford Regional Training Center	Muhlenberg	2022-2024	Awaiting Initiation by Agency			
* Construct Readiness Center Somerset	Pulaski	2022-2024	Awaiting Initiation by Agency			
Construct Response Group Building KyANG Phase 1	Jefferson	2018-2020	Complete/In Warranty		04/22/22	04/22/22
Construct Support Building Wendell H. Ford Regional Training Center	Muhlenberg	2022-2024	Awaiting Initiation by Agency			
DMA Appalachian Challenge Academy Upgrades	Harlan	CPBOC-5/01/22	Complete/In Warranty	100	09/09/22	09/09/22
* DMA Barbourville Readiness Center Latrine Upgrade	Knox	CPBOC-6/01/20	In Construction	90	10/18/22	
DMA Bluegrass Station Building 415 Modification	Fayette	CPBOC-7/01/20	Complete/Not Closed Out	100	03/08/21	03/08/21
* DMA Boone National Guard Center Emergency Operations Center Renovation	Franklin	CPBOC-8/01/19	Complete/Not Closed Out	100	08/21/20	09/22/20
* DMA Boone National Guard Center Rear Access Control Point Comments: Pre-construction meeting 9/13/2022	Franklin	CPBOC-5/01/22	In Construction	0	09/13/23	
* DMA Boone National Guard Center SEOC Window Replacement	Franklin	CPBOC-8/01/21	Planning			
* DMA Bowman Field Annex Readiness Center Interior Restoration	Jefferson	CPBOC-5/01/22	Bidding			
DMA Construct Burlington Field Maintenance Shop Comments: Had Phase A review meeting. Awaiting ecomm submittal.	Boone	CPBOC-5/01/22	Design/Phase A			
DMA Construct Joint Force Headquarters Boone National Guard Center	Franklin	CPBOC-1/01/20	In Construction	48	08/28/23	
* DMA Danville Readiness Center Interior Restoration	Boyle	CPBOC-7/01/22	Awarding Contract			
DMA Harold L. Disney Training Site Mobile Operations Urban Training Site Enhancement	Knox	CPBOC-8/01/20	Complete/In Warranty	100	12/24/21	12/24/21
DMA Interior Renovation Wellman Armory - Boone National Guard Center	Franklin	CPBOC-10/01/17	Complete/Not Closed Out	100	04/29/19	04/29/19
DMA Jackson Readiness Center Interior Restoration	Breathitt	CPBOC-8/01/21	Bidding			
DMA Murray Readiness Center Interior Restoration	Calloway	CPBOC-8/01/21	In Construction	15	02/16/23	
DMA Records Holding Facility - Boone National Guard Center	Franklin	CPBOC-10/01/17	Complete/Not Closed Out	100	12/07/18	07/02/19

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DMA Richmond Field Maintenance Shop No. 4 Bay Addition	Madison	CPBOC-9/01/16	Complete/Not Closed Out	100	06/19/17	08/04/17
* DMA Richmond Readiness Center Interior Modernization Comments: no change in status	Madison	CPBOC-6/01/20	Complete/In Warranty	100	11/09/21	11/09/21
DMA Springfield Readiness Center Latrine Restoration	Washington	CPBOC-8/01/21	Complete/In Warranty	100	08/17/22	08/17/22
DMA Wendell H. Ford Regional Training Center 1103rd Military Police RC/Provost/Welcome Center	Muhlenberg	CPBOC-6/01/20	Complete/In Warranty	100	10/01/21	11/13/21
DMA Wendell H. Ford Regional Training Center Bridge	Muhlenberg	CPBOC-10/01/19	Complete/Not Closed Out	100	11/02/20	11/18/20
DMA Wendell H. Ford Regional Training Center Cypress Creek Restoration	Muhlenberg	CPBOC-8/01/19	Design/Phase C			
DMA Wendell H. Ford Regional Training Center Fire Station Addition	Muhlenberg	CPBOC-6/01/20	Complete/In Warranty	100	09/02/21	09/27/21
DMA Wendell H. Ford Regional Training Center Multipurpose Athletic Field	Muhlenberg	CPBOC-6/01/20	Complete/Not Closed Out	100	05/27/21	05/27/21
Install Solar Energy Photovoltaic Panels	Multi	2022-2024	Awaiting Initiation by Agency			
Install Solar Panels at Armories Statewide	Multi	2022-2024	Awaiting Initiation by Agency			
Install Solar Panels at Armories Statewide Comments: Next phases in development.	Multi	2018-2020	Construction/Multiple Bid Packs			
Replace and Repair Roofs Bluegrass Station	Fayette	2022-2024	Awaiting Initiation by Agency			
General Government Cabinet/Veterans' Affairs						
* Construct Bowling Green Veterans Center Comments: mobilizing on site.	Warren	2020-2022	In Construction	0	08/07/24	
* Design and Preconstruction - Bowling Green Veterans Center Authorization - House Bill 24 (2020 Regular Session) Comments: mobilizing on site	Warren	Other	In Construction	0	08/07/24	
Emergency Replacement Nurse Call System - Western KY Veterans' Center	Hopkins	CPBOC-11/01/20	In Construction	50	10/31/22	

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Expansion of Lawn Crypts - Kentucky Veterans Cemetery West	Christian	2022-2024	Awaiting Initiation by Agency			
Improve/Expand Pavement and Parking Areas	Multi	2020-2022	Complete/In Warranty	100	10/18/21	10/18/21
* Nurse Call System Comments: Delays in completion due to East KY flooding new dates being established for completion.	Multi	2018-2020	In Construction	90	08/16/22	
* Radcliff Veterans' Center Building Repairs	Hardin	CPBOC-6/01/22	Design/Phase A			
Replace Cooling Towers and Domestic Water System - Eastern Kentucky Veterans Center	Perry	2022-2024	Bidding			
* Replace Heating and Cooling Systems - Western Kentucky Veterans Center	Hopkins	2022-2024	Awaiting Initiation by Agency			
Health and Family Services Cabinet/Behavioral Health						
* CHFS Maintenance Pools - Kentucky Correctional Psychiatric Center Roof Replacement Reported to CPBOC on 5/18/2021 (allocations from 2018-20 and 2020-22 bond-funded maintenance pools)	Oldham	Pool	Complete/In Warranty	100	03/24/22	04/22/22
* CHFS Maintenance Pools - Western State Hospital - HVAC Repairs and Patient Safety Enhancements Reported to CPBOC on 6/18/2019 (allocations from 2014-16, 2016-18, and 2018-20 bond-funded maintenance pools)	Christian	Pool	Complete/Not Closed Out	100	03/17/21	03/18/21
* Electrical & Telecom Upgrade-Western State Hospital Phase II	Christian	2018-2020	Bidding			
* Electrical System Upgrade at Western State Hospital - Design	Christian	2012-2014	Design/Phase C			
* HVAC System Replacement - Hazelwood Comments: Phase II bid on 8/23/2022..... \$648,900.	Jefferson	2018-2020	Construction/Multiple Bid Packs			
* Oakwood Renovate/Replace Cottages - Phase II Comments: no changes	Pulaski	2020-2022	Design/Phase C			
* Oakwood Renovate/Replace Cottages - Phase III	Pulaski	2022-2024	Awaiting Initiation by Agency			
* Renovate/Replace Cottages - Oakwood, Phase I	Pulaski	2018-2020	Complete/In Warranty	100	03/04/22	03/04/22
* Western State Hospital - HVAC and Electrical Upgrades	Christian	2022-2024	Awaiting Initiation by Agency			

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* Western State Hospital-Electrical Upgrade - Phase III	Christian	2020-2022	Design/Phase B			
* Western State Hospital-Electrical Upgrade-Phase I	Christian	2016-2018	Complete/Not Closed Out	100	03/01/21	04/26/19
Health and Family Services Cabinet/Medicaid Administration						
Renovate CHR Complex Sixth Floor Comments: On hold while CHR/DMS make programming revisions due to telecommuting mandate change	Franklin	2022-2024	Design/Phase A			
Justice and Public Safety Cabinet/Corrections						
* Corrections Maintenance Pool - 2016-18 - Reformatory Psychiatric Treatment Unit HVAC Replacement Reported to CPBOC on 2/21/2017	Oldham	Pool	Planning			
* Corrections Maintenance Pools - Green River Correctional Complex Security Control for Buildings Reported to CPBOC on 8/19/2020 (allocations from 2018-20 and 2020-22 bond-funded maintenance pools) Comments: Project way off schedule. Weekly meetings continue and some progress in now being made. Current schedule shows completion in December 2022	Muhlenberg	Pool	In Construction	50	01/13/22	
* Demolish and Repair Tower Kentucky State Reformatory Reallocation from Stabilization of Dorm 8 Kentucky State Reformatory (\$4.155 million) and Repair and Stabilize Tower Kentucky State Reformatory (\$3.716 million) \$4.2 million of the \$7.871 million in bond funds authorized was reallocated to Design Relocation of Corrections Medical Facility	Oldham	2018-2020	Cancelled			
* Design of the Expansion of Little Sandy Correctional Complex	Elliott	2020-2022	Bidding			
* Design Relocation of Corrections Medical Facility Reallocation from the Demolish and Repair Tower Kentucky State Reformatory (\$4,200,000) and Replace Perimeter Fence, Kentucky State Reformatory (\$2,800,000)	Oldham	2020-2022	Design/Phase C			
* Kentucky Correctional Institution for Women-Sewer Plant/Line Comments: Design complete. Bidding project.	Shelby	2016-2018	Bidding			
* Kentucky State Penitentiary - Security Fence Addition	Lyon	2022-2024	Awaiting Initiation by Agency			
* Little Sandy Correctional Complex - Expansion - Replace Reformat	Elliott	2022-2024	Awaiting Initiation by Agency			

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* Relocate Medical Services	Fayette	2022-2024	Awaiting Initiation by Agency			
* Repair and Stabilize Tower Kentucky State Reformatory \$3.716 million of the \$3.797 million in bond funds authorized was reallocated to Demolish & Repair Tower KSR	Oldham	2016-2018	Cancelled			
* Repair/Replace Roofs - Eastern Kentucky Correctional Complex	Morgan	2020-2022	In Construction	80	10/23/22	
* Replace Perimeter Fence, Kentucky State Reformatory \$2.8 million of the \$3.116 million in bond funds authorized was reallocated to Design Relocation of Corrections Medical Facility	Oldham	2018-2020	Cancelled			
* Stabilization of Dorm 8 Kentucky State Reformatory \$4.155 million in bond funds authorized was reallocated to Demolish and Repair Tower KSR	Oldham	2016-2018	Cancelled			
* Various - Water Tower Painting/Repairs	Multi	2022-2024	Awaiting Initiation by Agency			

Justice and Public Safety Cabinet/Criminal Justice Training

Bizzack Complex HVAC Repair/Replacement Comments: Final Phase is nearing completion.	Madison	2016-2018	Construction/Multiple Bid Packs			
Criminal Justice Training Maintenance Pool - 2020-22 - Schwendeman-Thompson HVAC & Bldng Sys Upgrade Reported to CPBOC on 9/23/2021 Comments: Delays due to equipment deliveries	Madison	Pool	In Construction	90	09/29/22	
Funderburk Building HVAC Upgrade Comments: Final Phase is nearing completion	Madison	2016-2018	Construction/Multiple Bid Packs			
Funderburk Building HVAC Upgrade Emergency	Madison	CPBOC-10/01/15	Complete/Closed Out	100	11/08/16	11/08/16
* New Indoor Firing Range Comments: Phase A Design and Budgeting has started.	Madison	2022-2024	Design/Phase A			

Justice and Public Safety Cabinet/State Police

* KY Emergency Warning System (KEWS) Fiberglass Shelter Replacement	Multi	2022-2024	Awaiting Initiation by Agency			
* Posts 7 (Richmond) & 10 (Harlan) Construction	Multi	2022-2024	Awaiting Initiation by Agency			

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Postsecondary Education Cabinet/Eastern Kentucky University						
* Construct Science Building - Phase 2 and 3	Madison	2014-2016	Complete/Not Closed Out	100	10/25/17	08/17/17
Postsecondary Education Cabinet/Kentucky State University						
Acquire Land/Campus Master Plan	Franklin	2022-2024	Awaiting Initiation by Agency			
* Asset Preservation Pool - 2022-2024	Franklin	2022-2024	Awaiting Initiation by Agency			
Center for Families and Children	Franklin	CPBOC-12/01/08	Complete/Not Closed Out	100	12/02/11	12/29/11
Construct New Residence Hall	Franklin	2020-2022	In Construction	82	01/01/23	
Approved pursuant to KRS 45.763 CPBOC approved development agreement on April 20, 2021						
Kentucky State University Old Federal Building Renovation, Phase I	Franklin	CPBOC-12/01/09	Complete/Not Closed Out	100	07/20/12	07/20/12
Mold Remediation and Mechanical Repairs - The Halls	Franklin	CPBOC-2/01/19	Complete/Not Closed Out	100	07/26/19	07/26/19
Renovate Atwood Agricultural Research Building	Franklin	2012-2014	Complete/Not Closed Out	100	09/21/20	09/21/20
Renovate Hunter Hall	Franklin	CPBOC-7/01/21	In Construction	90	12/27/22	
* Repair Boilers and Aging Distribution Lines	Franklin	2014-2016	Construction/Multiple Bid Packs			
Comments: Awaiting direction from Agency concerning additional scope						
Postsecondary Education Cabinet/KY Community and Technical College System						
Acquire and Improve Parking Lots - Jefferson CTC	Multi	2020-2022	Construction/Multiple Bid Packs			
* Asset Preservation Pool - 2022-24 - Madisonville Community College Glema Mahr Roof	Hopkins	Pool	In Construction	10	03/20/23	
Reported to CPBOC on 9/29/2022						
* Construct Advanced Manufacturing Facility - Bluegrass CTC	Scott	2014-2016	Complete/Not Closed Out	100	12/28/17	12/28/17
Construct Ag Health & Career Tech - Hopkinsville CC Ph I	Christian	2014-2016	Complete/Not Closed Out	100	07/10/19	09/16/19

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Construct Fire Commission Five Story Training Drill Tower Comments: Project will be redesigned and rebid at a later date.	Muhlenberg	2020-2022	Other			
Construct Fire Commission NRPC Classroom Building	Muhlenberg	2020-2022	In Construction	5	11/02/23	
Construct Instructional Complex - Southcentral CTC	Warren	2014-2016	Complete/Not Closed Out	100	03/14/18	03/14/18
Construct National Responder Preparedness Center Parking Lot (Driving Course) - Fire Commission	Muhlenberg	2018-2020	Complete/Not Closed Out	100	01/20/21	01/04/21
Construct New Entrance - Leestown - Bluegrass CTC	Fayette	2016-2018	Complete/Not Closed Out	100	08/28/17	09/21/17
Construct Parking Garage - Jefferson CTC Comments: 470 CAJL funding code 701 funds = \$955,000 703 funds = \$11,535,000	Jefferson	2022-2024	Design/Phase A			
* Construct Student/Classroom [Instructional Facility] - Bluegrass CTC Newtown Comments: pending agency initiation	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Procure Transportation Center - Elizabethtown CTC	Hardin	2020-2022	Awaiting Initiation by Agency			
Design and Construct Newtown Campus, Phase I - Bluegrass CTC	Fayette	2012-2014	Complete/Not Closed Out	100	07/28/14	07/28/14
* Expand Leitchfield Campus - Elizabethtown CTC	Grayson	2022-2024	Awaiting Initiation by Agency			
KCTCS Property Acquisitions Pools - 2020-22 - Fire Commission, Main Office/Area 15 CPAT & Training Reported to CPBOC on 9/16/2020	Bourbon	Pool	Complete/Closed Out	100	08/31/20	08/31/20
KCTCS Property Acquisitions Pools - 2020-22 - Land Acquisition, Somerset Community College Reported to CPBOC on 5/19/2022	Pulaski	Pool	Complete/Closed Out	100	04/25/22	04/25/22
Procure Postsecondary Education Center Phase II - Maysville CTC	Rowan	2022-2024	Awaiting Initiation by Agency			
Property Acquisition - Fire Commission	Laurel	2022-2024	Awaiting Initiation by Agency			
Property Acquisition - Hopkinsville CC	Christian	2022-2024	Awaiting Initiation by Agency			
Relocate and Demolish Student Center - Henderson CC Comments: In process of extending Substantial Completion Date	Henderson	2022-2024	In Construction	5	09/20/22	

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Renovate Administration Building - Bluegrass CTC Newtown	Fayette	2022-2024	Design/Phase A			
Renovate Advance Manufacturing and Construction Center - Hazard CTC	Perry	2020-2022	Design/Phase A			
Renovate Dental Hygiene Clinic - Big Sandy CTC - Mayo Campus Comments: New SC date extension pending	Johnson	2018-2020	In Construction	95	09/17/22	
Renovate Industrial Education Building - Hazard CTC	Perry	2020-2022	Design/Phase A			
Renovate Laurel South Campus Phase I - Somerset CC	Laurel	2022-2024	Awaiting Initiation by Agency			
Renovate Main Campus Buildings - Southcentral Kentucky CTC	Warren	2022-2024	Design/Phase A			
Renovate Newtown Campus North Buildings - Bluegrass CTC	Fayette	2020-2022	Design/Phase B			
* Renovate Occupational Technical Building Phase I - Elizabethtown CTC	Hardin	2022-2024	Awaiting Initiation by Agency			
Renovate Science Building Labs - Elizabethtown CTC	Hardin	2022-2024	Awaiting Initiation by Agency			
Renovate Student Center Building - Elizabethtown CTC	Hardin	2016-2018	In Construction	17	02/14/23	
Replace Hartford Building Phase I - Jefferson CTC Comments: Design kick off meeting held 8/11/22.	Jefferson	2022-2024	Design/Phase A			
Replace Windows and Doors - Somerset CC	Pulaski	2022-2024	Awaiting Initiation by Agency			
Roof Replacements - Ashland CTC	Boyd	2022-2024	Awaiting Initiation by Agency			
Upgrade ADA - Somerset CC	Multi	2022-2024	Awaiting Initiation by Agency			
Upgrade Newtown Campus Buildings and Infrastructure - Bluegrass	Fayette	2016-2018	Complete/In Warranty	100	12/27/21	12/27/21
Upgrade Welding Shop - Big Sandy CTC - Mayo Campus	Johnson	2018-2020	Complete/Closed Out	100	07/17/21	07/17/21
* Workforce Development Construction Pool - Constr. Adv. Manuf. Ctr. - Bluegrass CTC, Danville \$2.736 million bond funded Workforce Development Construction Pool allocation with use of \$5 million in restricted funds authorized in HB 200; pool allocation reported to CPBOC on 8/21/2018.	Boyle	Pool	Complete/Not Closed Out	100	03/09/21	01/26/21

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* Workforce Development Construction Pool - Constr. Adv. Manuf. Ctr. - Jefferson CTC, Downtown Match for \$15.2 million bond funded Workforce Development Construction Pool allocation was approved by CPBOC on 9/19/2017.	Jefferson	Pool	Complete/Not Closed Out	100	09/30/21	09/30/21
Workforce Development Construction Pool - Constr. Community Intergenerational Ctr. -Hazard CTC, Lees \$2 million for the design portion was authorized in HB 235 as a KCTCS BuildSmart Investment for Kentucky Competitiveness project. Match for \$2.88 million bond funded Workforce Development Construction Pool allocation was approved by CPBOC on 9/19/2017.	Breathitt	2014-2016	Complete/Not Closed Out	100	12/28/19	10/09/19
Workforce Development Construction Pool - Renovate Leestown Campus - Bluegrass CTC \$3.04 million bond funded Workforce Development Construction Pool allocation with use of \$2.935 million of the \$6 million in restricted funds authorized in HB 303; pool allocation reported to CPBOC on 2/20/2018. Comments: still pending authorization	Fayette	2016-2018	Pending Authorization			
* Workforce Development Construction Pool - Renovate/ Equip Manufacturing Labs - West Kentucky CTC \$3.04 million bond funded Workforce Development Construction Pool allocation was reported to CPBOC on 9/19/2017.	McCracken	Pool	Complete/Not Closed Out	100	11/30/18	11/30/18
* Workforce Development Construction Pool - Renovate/ Equip Manufacturing Labs -Owensboro CTC, Downtwn Match for \$2.858 million bond funded Workforce Development Construction Pool allocation was approved by CPBOC on 9/19/2017.	Daviess	Pool	Complete/Not Closed Out	100	04/12/19	04/12/19
* Workforce Development Construction Pool - Welding Facility Renov./Training Lab Addit. - Hopkinsville The \$1.6 million restricted funds authorization in HB 303 will not be used for the \$321,180 restricted funds match. Match for \$2.353 million bond funded Workforce Development Construction Pool allocation was approved by CPBOC as a scope increase on 2/20/18.	Christian	Pool	Complete/Not Closed Out	100	09/11/20	09/11/20

Postsecondary Education Cabinet/KY Higher Education Assistance Authority

KHEEA Building - HVAC and Roof Repair	Franklin	2022-2024	Design/Phase C			
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Tourism, Arts & Heritage Cabinet/Fish & Wildlife Resources

Ballard Wildlife Management Area "Big Pump"	Ballard	CPBOC-5/01/22	Planning			
Camp Currie Dining Hall Construction Comments: Closeout will be requested in the upcoming quarter.	Marshall	2016-2018	Complete/Not Closed Out	100	05/25/18	05/25/18
Camp Earl Wallace Dining Hall Construction Comments: KRS45A requires additional staff beyond F&W to do RFP for Architects and Engineers.	Cumberland	2022-2024	Awaiting Initiation by Agency			
FILO Office Space	Franklin	2016-2018	Complete/Not Closed Out	100	03/01/18	04/26/18

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FILO Stream Mitigation Projects Pool - Bender Hollow Reported to CPBOC on 10/21/2021	Lincoln	Pool	Design/Phase A			
FILO Stream Mitigation Projects Pool - Big Farm Reported to CPBOC on 9/20/2016	Bath	Pool	Complete/In Warranty	100	02/08/22	02/08/22
FILO Stream Mitigation Projects Pool - Big Rivers Wetland Reported to CPBOC on 10/21/2021	Multi	Pool	Design/Phase A			
FILO Stream Mitigation Projects Pool - Blue Spring Creek Reported to CPBOC on 4/14/2020	Trigg	Pool	In Construction	48	02/09/23	
FILO Stream Mitigation Projects Pool - Burnett Branch Reported to CPBOC on 10/21/2021 Land Acquisition from Kentucky Heritage Land Conservation Fund (partnership with KDOW Wild Rivers program) reported to the committee on 11/15/2011	Multi	Pool	Design/Phase C			
FILO Stream Mitigation Projects Pool - Crow Creek Reported to CPBOC on 9/23/2021	Clinton	Pool	Design/Phase A			
FILO Stream Mitigation Projects Pool - East Fork Indian Creek Repair Reported to CPBOC on 9/23/2021 - Addition to Completed FILO-East Fork Indian River (C40N)	Menifee	Pool	Complete/In Warranty	100	03/01/22	03/01/22
FILO Stream Mitigation Projects Pool - Goose Creek Reported to CPBOC on 4/18/2017	Casey	Pool	Complete/Not Closed Out	100	06/26/20	03/01/20
FILO Stream Mitigation Projects Pool - Horse Mill Reported to CPBOC on 1/18/2022	Morgan	Pool	Design/Phase A			
FILO Stream Mitigation Projects Pool - Little Sexton Reported to CPBOC on 5/19/2022	Multi	Pool	Design/Phase B			
FILO Stream Mitigation Projects Pool - Mabry Wildlife Management Area 2 Design Build Combination of Laurel Creek Gorge #2, Laurel Creek Gorge (Smith), and Mart Whitt Fork Laurel Creek Gorge #2 and Mart Whitt Fork reported to committee on 7/18/2017	Elliott	Pool	In Construction	75	11/01/22	
FILO Stream Mitigation Projects Pool - Minor's Creek	Multi	Pool	Complete/Not Closed Out	100	04/09/19	04/09/19

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Reported to CPBOC on 10/17/2017						
FILO Stream Mitigation Projects Pool - Morgan County Extension Wetland Reported to CPBOC on 10/21/2021	Morgan	Pool	Design/Phase A			
FILO Stream Mitigation Projects Pool - Mud Camp Reported to CPBOC on 9/29/2022	Cumberland	Pool	Design/Phase A			
FILO Stream Mitigation Projects Pool - Northern Kentucky Middle Creek I Reported to CPBOC on 1/18/2022	Boone	Pool	Design/Phase A			
FILO Stream Mitigation Projects Pool - Northern Kentucky Middle Creek II Reported to CPBOC on 10/21/2021	Boone	Pool	Design/Phase A			
FILO Stream Mitigation Projects Pool - Northern Kentucky Middle Creek III Reported to CPBOC on 10/21/2021	Boone	Pool	Design/Phase A			
FILO Stream Mitigation Projects Pool - Rich Wildlife Management Area - Red Oak Creek Reported to CPBOC on 6/19/2018	Owen	Pool	Complete/Not Closed Out	100	03/01/19	03/01/19
FILO Stream Mitigation Projects Pool - Rock Lick Will be reported to committee after design phase	Fleming	Pool	Design/Phase A			
FILO Stream Mitigation Projects Pool - Rolling Fork WMA - Stillwell Branch Reported to CPBOC on 9/29/2022	Larue	Pool	Design/Phase A			
FILO Stream Mitigation Projects Pool - Ross Creek Land Acquisition and Construction Reported to CPBOC on 2/19/2013 and 5/19/2020	Multi	Pool	Complete/Not Closed Out	100	06/01/20	06/01/20
FILO Stream Mitigation Projects Pool - Ross Creek III, Lee County Will be reported to committee after design phase	Lee	Pool	Awaiting Initiation by Agency			
FILO Stream Mitigation Projects Pool - Staggs Branch Reported to CPBOC on 9/29/2022	Lewis	Pool	Design/Phase A			
FILO Stream Mitigation Projects Pool - Stream Restoration Otter Creek	Meade	Pool	Design/Phase A			

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Reported to CPBOC on 10/21/2021						
FILO Stream Mitigation Projects Pool - Whites Creek Reported to CPBOC on 10/21/2021	Boyd	Pool	Design/Phase C			
FILO Stream Mitigation Projects Pool - Wolf Run Jefferson County Memorial Forest Reported to CPBOC on 10/21/2021	Jefferson	Pool	Design/Phase A			
Veteran's Memorial Wildlife Management Area - Public Shooting Range	Scott	CPBOC-5/01/22	Design/Phase C			
Tourism, Arts & Heritage Cabinet/KY Center for the Arts						
Exterior Repair and Restoration	Jefferson	2022-2024	Awaiting Initiation by Agency			
KCA - Fire Damage Restoration	Jefferson	CPBOC-9/01/18	Complete/Not Closed Out		03/10/20	03/10/20
Tourism, Arts & Heritage Cabinet/KY Horse Park						
* Barn Repair and Upgrades	Fayette	2022-2024	Awaiting Initiation by Agency			
* Covered Arena and Rolex Stadium	Fayette	2022-2024	Awaiting Initiation by Agency			
* Renovate International Museum of the Horse	Fayette	2022-2024	Awaiting Initiation by Agency			
* Replace Roofs - Museum, Gatehouse, Visitor Center	Fayette	2022-2024	Awaiting Initiation by Agency			
Tourism, Arts & Heritage Cabinet/Parks						
Fort Boonesborough - Parkwide - Flood Reconstruction	Madison	CPBOC-7/01/21	Complete/In Warranty	100	05/15/22	05/15/22
* HB 268 and KDP Maintenance (2018-20) Pools - Barren River Lodge Exterior Repairs and Reroof Reported to CPBOC on 1/21/2020	Barren	Pool	Complete/Closed Out	100	10/27/20	10/27/20
* HB 268 and KDP Maintenance (2018-20) Pools - General Burnside Campground Improvements Reported to CPBOC on 4/14/2020	Pulaski	Pool	Complete/Closed Out	100	11/27/20	11/27/20
* HB 268 Pool - Water and Sewer Upgrades - West Reported to CPBOC on 5/18/2021	Multi	Pool	Construction/Multiple Bid Packs			
Comments: Bidding Kentucky Dam Village SRP sewer. Lake Barkley SRP water and sewer projects biddings waiting for USACE permits.						

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Lake Barkley Lodge Fire Repairs	Trigg	CPBOC-4/01/22	In Construction	55	11/30/22	
* Upgrade Guest Accommodations	Multi	2014-2016	Construction/Multiple Bid Packs			
Tourism, Arts & Heritage Cabinet/State Fair Board						
* Agricultural Development Board - Cardinal Stadium Demolition (Kentucky Exposition Center) Reported to CPBOC on 8/21/2018	Jefferson	Pool	Complete/Not Closed Out	100	07/29/22	07/29/22
* Agricultural Development Board - Deferred Maintenance and Renovation (Kentucky Exposition Center) Comments: Managed by agency	Jefferson	Pool	Other			
* Agricultural Development Board - Entry Gate Remodel (Kentucky Exposition Center)	Jefferson	Pool	Construction/Multiple Bid Packs			
* Agricultural Development Board - Freedom Hall Make-Up Ring Reported to CPBOC on 8/27/2019	Jefferson	Pool	Complete/Not Closed Out	100	03/10/20	02/01/22
* Freedom Hall Sewer Line Replacement	Jefferson	2014-2016	Complete/Not Closed Out	100	08/24/17	08/24/17
* Ky International Convention Center Renovation and Expansion	Jefferson	2014-2016	Complete/Not Closed Out	100	11/01/18	11/01/18
* Ky International Convention Center Roof Replacement	Jefferson	2018-2020	Complete/Not Closed Out	100	03/10/20	03/10/20
* Prestonia Grounds and Infrastructure Improvements	Jefferson	2020-2022	Construction/Multiple Bid Packs			
Transportation Cabinet/Department of Highways						
* Transportation Warehouse Facility Renovation or Replacement	Franklin	2020-2022	Complete/In Warranty	100	04/08/22	03/15/22
Transportation Cabinet/Gen Admin & Support (Transp)						
* Bullitt County Welcome Center	Bullitt	CPBOC-10/01/19	Complete/Not Closed Out	100	05/25/20	05/25/20
* Construct Ballard County Maintenance Facility and Salt Storage Structure	Ballard	2012-2014	Revising/Rebidding			

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* Construct Bath County Maintenance and Salt Storage Facility	Bath	2022-2024	Awaiting Initiation by Agency			
* Construct Boyle County Bridge Crew Facility	Boyle	2022-2024	Awaiting Initiation by Agency			
* Construct Breckinridge County Maintenance and Salt Storage Facility	Breckinridge	2022-2024	Awaiting Initiation by Agency			
* Construct Casey County Maintenance Facility	Casey	2020-2022	Complete/In Warranty	100	06/28/22	06/28/22
* Construct Clay County District 11 Office Reallocation from Construct Manchester (D-11) District Office (\$7.445 million)	Clay	2018-2020	Planning			
* Construct Crittenden County Maintenance Facility and Salt Storage Structure Was not reauthorized in 2016-2018 budget and authorized as new project for 2018-2020	Crittenden	2018-2020	Complete/Not Closed Out	100	09/11/20	09/11/20
* Construct District 2 Office and Materials Lab	Hopkins	2022-2024	Awaiting Initiation by Agency			
* Construct Hart County Maintenance and Salt Storage Facility	Hart	2022-2024	Awaiting Initiation by Agency			
* Construct Henderson County Maintenance Facility and Salt Storage Structure	Henderson	2012-2014	Complete/Closed Out	100	07/15/18	07/02/18
* Construct Hopkins County Maintenance Facility and Salt Storage Structure	Hopkins	2018-2020	Revising/Rebidding			
* Construct Manchester (D-11) District Office \$6.6 million (2014-2016) and \$845,000 (2016-2018) from the road fund was reallocated to Construct Clay County District 11 Office	Clay	2014-2016	Cancelled			
* Construct Mercer County Maintenance and Salt Storage Facility	Mercer	2022-2024	Awaiting Initiation by Agency			
* Construct Morgan County Maintenance and Salt Storage Facility	Morgan	2022-2024	Awaiting Initiation by Agency			
* Construct Muhlenberg County Maintenance Facility and Salt Storage Structure	Muhlenberg	2012-2014	Complete/Not Closed Out		07/08/18	07/05/18
* Construct Nicholas County Maintenance/Salt Structure	Nicholas	2020-2022	Complete/In Warranty	100	04/29/22	04/29/22
* Construct Regional Salt Structures	Multi	2022-2024	Awaiting Initiation by Agency			
* Construct Union County Maintenance and Salt Storage Facility	Union	2022-2024	Awaiting Initiation by Agency			

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* Construct Whitley County Maintenance/Salt Structure \$1.5 million from the road fund was reallocated to Design District 6 Office and Materials Lab	Whitley	2020-2022	Planning			
* District 6 Office and Materials Lab House Bill 490 (2022 Regular Session) amended authorized project amount	Kenton	2020-2022	Bidding			
* Permanent Salt Conveyor System - Graves County	Graves	2022-2024	Awaiting Initiation by Agency			
* Simpson County Welcome Center	Simpson	CPBOC-9/01/19	Complete/Not Closed Out	100	12/08/20	12/01/20

* indicates projects involving General Fund supported bonds or "state" cash (General Fund, Investment Income, Capital Construction Surplus, Contingency Fund, Emergency Fund, or Statewide Deferred Maintenance Fund).

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Education and Labor Cabinet/Education Dept			
* KSB Howser Hall Renovation	07/13/20	\$27,683.70	In process of being closed out.
* KSB McDaniel/Scoggin Educational Building	10/02/19	\$272.84	In process of being closed out
* KSD New Elementary Building	03/21/20	\$61,694.97	Waiting for agency to close account
Education and Labor Cabinet/KY Educational Television			
KET FCC Repacking	05/26/20	\$5,773,158.87	Awaiting agency to close project
* Transmitter and Repack	09/01/20	\$430,927.96	Awaiting agency to close project
Energy & Environment Cabinet/Environmental Protection			
* State-Owned Dam Repair - Bullock Pen Lake Dam	09/02/22	\$36,938.81	A leak in the siphon system was discovered in the yearend warranty review. Contractor submitting plans for repair.
Finance and Administration Cabinet/Facilities & Support Services			
* DFSS Maintenance Pool - 2018-20 - Central Lab Boiler Replacement	12/20/21	\$58,788.59	Working through final warranty issues.
* Emergency Generator Repair or Replacement, COT/CHR	06/15/22	\$9,000.00	In process of being closed out.
* L&N Building Security and Structural Upgrades	04/20/23	\$627,641.71	Pursuing other projects
* Upgrade L&N Building	08/31/20	\$519,719.14	Possible following project
General Government Cabinet/Military Affairs			
* Armory Modernization and DMA Maintenance Pools - 2018-20 - DMA Lexington NGA Interior Upgrade	11/24/21	\$40,787.00	will recommend closing
* Armory Modernization Pool - 2018-20 - DMA Leitchfield Readiness Center Assembly Hall Addition	04/15/22	\$12,685.83	Waiting for Agency to move funds.
DMA Bluegrass Station Building 415 Modification	04/08/22	\$34,000.00	will recommend closing
* DMA Boone National Guard Center Emergency Operations Center Renovation	10/22/21	\$37,928.98	Waiting for agency to close account
DMA Interior Renovation Wellman Armory - Boone National Guard Center	05/29/20	\$112,925.06	Agency has been notified with request to close.
DMA Records Holding Facility - Boone National Guard Center	08/02/20	\$109,457.22	Agency has been notified with request for closure.
DMA Richmond Field Maintenance Shop No. 4 Bay Addition	09/04/18	\$78,241.00	will recommend closing
DMA Wendell H. Ford Regional Training Center Bridge	12/18/21	\$44,299.99	Awaiting agency

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DMA Wendell H. Ford Regional Training Center Multipurpose Athletic Field	06/27/22	\$3,500.00	Awaiting agency
Health and Family Services Cabinet/Behavioral Health			
* CHFS Maintenance Pools - Western State Hospital - HVAC Repairs and Patient Safety Enhancements	04/18/22	\$3,500.00	Awaiting agency
* Western State Hospital-Electrical Upgrade-Phase I	05/26/20	\$20,161.22	awaiting agency
Postsecondary Education Cabinet/Eastern Kentucky University			
* Construct Science Building - Phase 2 and 3	09/17/18	\$148,367.84	Waiting for agency to close account
Postsecondary Education Cabinet/Kentucky State University			
Center for Families and Children	01/29/13	\$1.00	KSU owes money to the General Fund and can't be closed
Kentucky State University Old Federal Building Renovation, Phase I	08/20/13	\$5,250.00	will recommend closing
Mold Remediation and Mechanical Repairs - The Halls	08/26/20	\$32,812.56	Awaiting direction to move forward from Agency.
Renovate Atwood Agricultural Research Building	10/21/21	\$27,655.93	Agency has been notified with request for closure.
Postsecondary Education Cabinet/KY Community and Technical College System			
* Construct Advanced Manufacturing Facility - Bluegrass CTC	01/28/19	\$101,000.00	will recommend closing
Construct Ag Health & Career Tech - Hopkinsville CC Ph I	10/16/20	\$437,254.42	awaiting agency
Construct Instructional Complex - Southcentral CTC	04/14/19	\$37,842.10	Waiting for agency to close account
Construct National Responder Preparedness Center Parking Lot (Driving Course) - Fire Commission	02/04/22	\$831,109.14	awaiting agency.
Construct New Entrance - Leestown - Bluegrass CTC	10/21/18	\$168,000.00	will recommend closing
Design and Construct Newtown Campus, Phase I - Bluegrass CTC	08/28/15	\$1.00	will recommend closing
* Workforce Development Construction Pool - Constr. Adv. Manuf. Ctr. - Bluegrass CTC, Danville	02/26/22	\$10,000.00	will recommend closing
* Workforce Development Construction Pool - Constr. Adv. Manuf. Ctr. - Jefferson CTC, Downtown	10/30/22	\$5,138,966.19	Waiting for agency to close account
Workforce Development Construction Pool - Constr. Community Intergenerational Ctr. -Hazard CTC, Lees	11/09/20	\$9,583.00	will recommend closing. This project is currently Bill Novak's
* Workforce Development Construction Pool - Renovate/ Equip Manufacturing Labs - West Kentucky CTC	12/30/19	\$65,765.03	awaiting agency

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* Workforce Development Construction Pool - Renovate/ Equip Manufacturing Labs -Owensboro CTC, Downtwn	05/12/20	\$42,013.51	awaiting agency
* Workforce Development Construction Pool - Welding Facility Renov./Training Lab Addit. - Hopkinsville	10/11/21	\$304,409.21	awaiting agency
Tourism, Arts & Heritage Cabinet/Fish & Wildlife Resources			
Camp Currie Dining Hall Construction	06/25/19	\$320,871.77	Agency in process of closing
FILO Office Space	05/26/19	\$24,292.16	waiting for building awnings
FILO Stream Mitigation Projects Pool - Goose Creek	04/01/21	\$19,115.56	project remains in monitoring phase
FILO Stream Mitigation Projects Pool - Minor's Creek	05/09/20	\$135,767.59	project still in monitoring phase
FILO Stream Mitigation Projects Pool - Rich Wildlife Management Area - Red Oak Creek	04/01/20	\$1,022,188.33	project in monitoring phase
FILO Stream Mitigation Projects Pool - Ross Creek	07/01/21	\$779,415.04	remains in monitoring
Tourism, Arts & Heritage Cabinet/KY Center for the Arts			
KCA - Fire Damage Restoration	04/10/21	\$0.01	Waiting for agency to close account
Tourism, Arts & Heritage Cabinet/State Fair Board			
* Agricultural Development Board - Cardinal Stadium Demolition (Kentucky Exposition Center)	08/29/23	\$3,117.12	Waiting for agency to close account
* Agricultural Development Board - Freedom Hall Make-Up Ring	03/01/23	\$2,395.46	Waiting for agency to close account
* Freedom Hall Sewer Line Replacement	09/24/18	\$168,629.01	Agency looking at possible areas to use remaining funds
* Ky International Convention Center Renovation and Expansion	12/01/19	\$250,761.81	Waiting for agency to close account
* Ky International Convention Center Roof Replacement	04/10/21	\$503,596.36	Waiting for agency to close account
Transportation Cabinet/Gen Admin & Support (Transp)			
* Bullitt County Welcome Center	06/25/21	\$13,842.76	Waiting for agency to close account
* Construct Crittenden County Maintenance Facility and Salt Storage Structure	10/11/21	\$20,035.59	awaiting agency
* Construct Muhlenberg County Maintenance Facility and Salt Storage Structure	08/05/19	\$29,192.34	awaiting agency
* Simpson County Welcome Center	01/01/22	\$45,064.09	awaiting agency

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Reporting Agency: Eastern Kentucky University
 Report Quarter: 2022-4 (October)
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<u>Cabinet/Agency/Project Title</u>	<u>County</u>	<u>Initial Auth</u>	<u>Status</u>	<u>Constr % Compl</u>	<u>Contract Compl</u>	<u>Actual Subst</u>
Postsecondary Education Cabinet/Eastern Kentucky University						
Academic Computing Pool Comments: This project will upgrade the computing equipment and capabilities in central academic computing. Upgrades are initiated on a continuous cycle as advancements in technology occurs.	Madison	2022-2024	Other			
Additional University Services Space	Madison	2022-2024	Awaiting Initiation by Agency			
Administrative Computing Pool Comments: This pool supports the necessary equipment, hardware and software to serve the Administrative Computing function of the University.	Madison	2022-2024	Other			
* Asset Preservation Pool - 2022-2024 Use of restricted funds rather than agency bonds for the fiscal year 2023 match reported to CPBOC on 8/24/2022 Sub-projects: Asset Preservation Pool - 2022-2024 (Sub-project: Burrier Exterior Repairs) Asset Preservation Pool - 2022-2024 (Sub-project: Coates Exterior/Interior Repairs) Asset Preservation Pool - 2022-2024 (Sub-project: Improve Parking Systems) Asset Preservation Pool - 2022-2024 (Sub-project: Powell Roof Replacement) Asset Preservation Pool - 2022-2024 (Sub-project: Renovate Building Interiors) Asset Preservation Pool - 2022-2024 (Sub-project: Renovate/Replace/Modernize Elevator Systems) Asset Preservation Pool - 2022-2024 (Sub-project: Renovate/Replace/Upgrade Roof Structures) Asset Preservation Pool - 2022-2024 (Sub-project: Renovate/Upgrade Campus Pedestrian Accessways) Asset Preservation Pool - 2022-2024 (Sub-project: Renovate/Upgrade Electrical Systems) Asset Preservation Pool - 2022-2024 (Sub-project: Repair/Replace Infrastructure/Building Systems) Asset Preservation Pool - 2022-2024 (Sub-project: Rowlett Roof Replacement) Asset Preservation Pool - 2022-2024 (Sub-project: Steam Line Upgrades)	Madison	2022-2024	Multiple Subprojects			
Asset Preservation Pool - 2022-2024 (Sub-project: Burrier Exterior Repairs)	Madison	2022-2024	A/E Selection			
Asset Preservation Pool - 2022-2024 (Sub-project: Coates Exterior/Interior Repairs)	Madison	2022-2024	Planning			
Asset Preservation Pool - 2022-2024 (Sub-project: Improve Parking Systems)	Madison	2022-2024	Awaiting Initiation by Agency			
Asset Preservation Pool - 2022-2024 (Sub-project: Powell Roof Replacement)	Madison	2022-2024	In Construction	1	10/31/22	

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Asset Preservation Pool - 2022-2024 (Sub-project: Renovate Building Interiors)	Madison	2022-2024	Planning			
Asset Preservation Pool - 2022-2024 (Sub-project: Renovate/Replace/Modernize Elevator Systems)	Madison	2022-2024	Planning			
Asset Preservation Pool - 2022-2024 (Sub-project: Renovate/Replace/Upgrade Roof Structures)	Madison	2022-2024	Planning			
Asset Preservation Pool - 2022-2024 (Sub-project: Renovate/Upgrade Campus Pedestrian Accessways)	Madison	2022-2024	Planning			
Asset Preservation Pool - 2022-2024 (Sub-project: Renovate/Upgrade Electrical Systems)	Madison	2022-2024	Planning			
Asset Preservation Pool - 2022-2024 (Sub-project: Repair/Replace Infrastructure/Building Systems)	Madison	2022-2024	Planning			
Asset Preservation Pool - 2022-2024 (Sub-project: Rowlett Roof Replacement)	Madison	2022-2024	In Construction	27	10/25/22	
Asset Preservation Pool - 2022-2024 (Sub-project: Steam Line Upgrades)	Madison	2022-2024	Bidding			
Campus Data Network Pool Comments: This pool will support new hardware for communication, safety and security service delivery.	Madison	2022-2024	Other			
Campus Infrastructure Upgrade Approved pursuant to KRS 45.763	Madison	2022-2024	Awaiting Initiation by Agency			
Commonwealth Hall Partial Repurposing and Renovation	Madison	2022-2024	Awaiting Initiation by Agency			
Construct Academic Complex	Madison	2022-2024	Awaiting Initiation by Agency			
Construct Alumni and Welcome Center	Madison	2022-2024	Awaiting Initiation by Agency			
* Construct Aviation/Aerospace Instructional Facility Approved pursuant to KRS 45.763 \$1,890,800 in bond funds reallocated from Purchase Aviation Maintenance Technician/Pilot Training Equipment	Madison	2020-2022	A/E Selection			
Construct ECU Early Childhood Center	Madison	2022-2024	Awaiting Initiation by Agency			
* Construct New Model Laboratory School	Madison	2022-2024	Planning			
Construct Student Health Center	Madison	2022-2024	Awaiting Initiation by Agency			
Construct Student Life Facilities	Madison	2016-2018	In Construction	94	10/31/22	

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Demolish Building Pool	Madison	2022-2024	Awaiting Initiation by Agency			
Innovation and Commercialization Pool Approved pursuant to KRS 45.763	Madison	2022-2024	Awaiting Initiation by Agency			
Miscellaneous Maintenance Pool - 2022-2024	Madison	2022-2024	Awaiting Initiation by Agency			
Miscellaneous Maintenance Pool - 2020-2022 Sub-project: Miscellaneous Maintenance Pool - 2020-2022 (Replace Campbell Building HVAC) Miscellaneous Maintenance Pool - 2020-2022 (Replace Ramsey Heat Plant Boiler 5)	Madison	2020-2022	Multiple Subprojects			
Miscellaneous Maintenance Pool - 2020-2022 (Replace Campbell Building HVAC)	Madison	2020-2022	In Construction	5	12/31/22	
Miscellaneous Maintenance Pool - 2020-2022 (Replace Ramsey Heat Plant Boiler 5)	Madison	2020-2022	In Construction	20	10/31/22	
Property Acquisitions Pool Approved pursuant to KRS 45.763	Madison	2022-2024	Awaiting Initiation by Agency			
* Renovate Alumni Coliseum	Madison	2022-2024	Design/Phase A			
Renovate and Upgrade Heat Plant	Madison	2022-2024	Awaiting Initiation by Agency			
Renovate Mechanical Systems Pool 2022-2024 Asset Preservation Pool - 2022-2024 authorization will be used instead	Madison	2022-2024	Awaiting Initiation by Agency			
Renovate Whalen Complex Approved pursuant to KRS 45.763	Madison	2022-2024	Awaiting Initiation by Agency			
Repair/Replace Infrastructure/Building System Pool Asset Preservation Pool - 2022-2024 authorization will be used instead	Madison	2022-2024	Awaiting Initiation by Agency			
Residence Hall Renovation Pool Sub-projects: Residence Hall Renovation Pool (Sub-project: Phase I - Keene Hall) Residence Hall Renovation Pool (Sub-project: Phase I - Palmer Hall) Residence Hall Renovation Pool (Sub-project: Phase II - Burnam Hall) Residence Hall Renovation Pool (Sub-project: Phase II - Sullivan Hall)	Madison	2020-2022	Multiple Subprojects			
Residence Hall Renovation Pool (Sub-project: Phase I - Keene Hall)	Madison	2022-2024	Design/Phase C			
Residence Hall Renovation Pool (Sub-project: Phase I - Palmer Hall)	Fayette	2022-2024	Design/Phase C			

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Residence Hall Renovation Pool (Sub-project: Phase II - Burnam Hall)	Madison	2022-2024	Design/Phase A			
Residence Hall Renovation Pool (Sub-project: Phase II - Sullivan Hall)	Madison	2022-2024	Design/Phase A			
Steam Line Upgrades Approved pursuant to KRS 45.763 Asset Preservation Pool - 2022-2024 authorization will be used instead	Madison	2022-2024	Awaiting Initiation by Agency			
University Services Space	Madison	2020-2022	In Construction	100	10/29/22	
Upgrade Building Management System Controls	Madison	CPBOC-4/01/22	In Construction	94	10/22/22	

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Reporting Agency: Morehead State University

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<u>Cabinet/Agency/Project Title</u>	<u>County</u>	<u>Initial Auth</u>	<u>Status</u>	<u>Constr % Compl</u>	<u>Contract Compl</u>	<u>Actual Subst</u>
Postsecondary Education Cabinet/Morehead State University						
* Asset Preservation Pool - 2022-2024	Rowan	2022-2024	Awaiting Initiation by Agency			
Capital Renewal and Maintenance Pool - Auxiliary	Rowan	2020-2022	Awaiting Initiation by Agency			
Comply with ADA - Auxiliary	Rowan	2022-2024	Awaiting Initiation by Agency			
Construct New Residence Hall	Rowan	2022-2024	Awaiting Initiation by Agency			
* Construct Science and Engineering Building	Rowan	2022-2024	Awaiting Initiation by Agency			
Renovate Alumni Tower Ground Floor	Rowan	2020-2022	Design/Phase A			
Renovate Cartmell Residence Hall	Rowan	2022-2024	Awaiting Initiation by Agency			
Renovate Cooper Residence Hall	Rowan	2022-2024	Awaiting Initiation by Agency			
Renovate Fields Residence Hall	Rowan	2022-2024	Awaiting Initiation by Agency			
Renovate Grote-Thompson Residence Hall	Rowan	2022-2024	Awaiting Initiation by Agency			
Renovate Normal Residence Hall	Rowan	2022-2024	Awaiting Initiation by Agency			
Replace Exterior Precast Panels - Nunn Hall	Rowan	2020-2022	Awaiting Initiation by Agency			
Replace Turf on Jacobs Field	Rowan	2022-2024	Awaiting Initiation by Agency			

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QUARTERLY CAPITAL PROJECTS STATUS REPORT

Reporting Agency: Murray State University

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<u>Cabinet/Agency/Project Title</u>	<u>County</u>	<u>Initial Auth</u>	<u>Status</u>	<u>Constr % Compl</u>	<u>Contract Compl</u>	<u>Actual Subst</u>
Postsecondary Education Cabinet/Murray State University						
Acquire Agriculture Research Farm Land	Calloway	2022-2024	Awaiting Initiation by Agency			
Acquire Property	Calloway	2022-2024	Awaiting Initiation by Agency			
* Asset Preservation Pool - 2022-2024	Calloway	2022-2024	Multiple Subprojects			
Sub-projects:						
Asset Preservation Pool - 2022-2024 (Sub-project: Doyle Fine Arts HVAC Upgrades)						
Asset Preservation Pool - 2022-2024 (Sub-project: Electrical Utility Upgrades)						
Asset Preservation Pool - 2022-2024 (Sub-project: Fine Arts HVAC Upgrades)						
Asset Preservation Pool - 2022-2024 (Sub-project: Mason Hall Renovations)						
Asset Preservation Pool - 2022-2024 (Sub-project: Oakley Applied Science Renovations)						
Asset Preservation Pool - 2022-2024 (Sub-project: Pogue Library HVAC Upgrades)						
Asset Preservation Pool - 2022-2024 (Sub-project: Doyle Fine Arts HVAC Upgrades)	Calloway	2022-2024	Planning			
Asset Preservation Pool - 2022-2024 (Sub-project: Electrical Utility Upgrades)	Calloway	2022-2024	Planning			
Asset Preservation Pool - 2022-2024 (Sub-project: Fine Arts HVAC Upgrades)	Calloway	2022-2024	Planning			
Asset Preservation Pool - 2022-2024 (Sub-project: Mason Hall Renovations)	Calloway	2022-2024	Planning			
Asset Preservation Pool - 2022-2024 (Sub-project: Oakley Applied Science Renovations)	Calloway	2022-2024	Planning			
Asset Preservation Pool - 2022-2024 (Sub-project: Pogue Library HVAC Upgrades)	Calloway	2022-2024	Planning			
* Construct New Breathitt Veterinary Center	Christian	2014-2016	Multiple Subprojects			
Sub-projects:						
Construct New Breathitt Veterinary Center (Sub-project: Construct New BVC) - Complete/Closed Out						
Construct New Breathitt Veterinary Center (Sub-project: Construct New BVC Equipment Storage Bldg)						
Construct New Breathitt Veterinary Center (Sub-project: Construct New BVC Equipment Storage Bldg)	Christian	2014-2016	Design/Phase A			
Construct Residential Housing	Calloway	2020-2022	Design/Phase C			

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In lieu of agency bonds, MSU is authorized to enter into a public-private partnership, built-to-suit agreement, or lease-purchase not to exceed the authorized amount. This authorization includes the authorization under KRS 45.763 and 45A.077. P3 project delivery method reported to CPBOC on 10/21/2021						
* Construct School of Nursing and Health Professional Building	Calloway	2022-2024	Planning			
Construct/Renovate Alternate Dining Facility Approved pursuant to KRS 45.763 P3 project delivery method reported to CPBOC on 10/21/2021	Calloway	2020-2022	Awaiting Initiation by Agency			
Enhance Dining Facility	Calloway	2022-2024	Awaiting Initiation by Agency			
Historic Building Preservation Pool Sub-projects: Historic Building Preservation Pool (Sub-project: Carr Hall HVAC) Historic Building Preservation Pool (Sub-project: Curris Center Interior Refresh) Historic Building Preservation Pool (Sub-project: Lovett Phase II Renovations) Historic Building Preservation Pool (Sub-project: Racer Arena HVAC) Historic Building Preservation Pool (Sub-project: Waterfield HVAC Phase II) Historic Building Preservation Pool (Sub-project: Wrather Hall Auditorium Renovations)	Calloway	2020-2022	Multiple Subprojects			
Historic Building Preservation Pool (Sub-project: Carr Hall HVAC)	Calloway	2020-2022	Revising/Rebidding			
Historic Building Preservation Pool (Sub-project: Curris Center Interior Refresh)	Calloway	2020-2022	In Construction	5	11/30/23	
Historic Building Preservation Pool (Sub-project: Lovett Phase II Renovations) Comments: There have been delays in material delivery extending the completion of the project.	Calloway	2020-2022	In Construction	60	08/01/22	
Historic Building Preservation Pool (Sub-project: Racer Arena HVAC)	Calloway	2020-2022	Revising/Rebidding			
Historic Building Preservation Pool (Sub-project: Waterfield HVAC Phase II)	Calloway	2020-2022	In Construction	5	10/10/23	
Historic Building Preservation Pool (Sub-project: Wrather Hall Auditorium Renovations)	Calloway	2020-2022	In Construction	60	11/20/22	
Renovate Lovett Auditorium - HVAC and Electrical Repairs	Calloway	CPBOC-12/01/20	Complete/In Warranty	100	09/26/21	09/29/21
Renovate Residence Hall Electrical System In lieu of agency bonds, MSU is authorized to enter into a public-private partnership, built-to-suit agreement, or lease-purchase not to exceed the authorized amount. This authorization includes the authorization under KRS 45.763 and 45A.077.	Calloway	2020-2022	Awaiting Initiation by Agency			

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Renovate Residence Hall HVAC System In lieu of agency bonds, MSU is authorized to enter into a public-private partnership, built-to-suit agreement, or lease-purchase not to exceed the authorized amount. This authorization includes the authorization under KRS 45.763 and 45A.077.	Calloway	2020-2022	Awaiting Initiation by Agency			
Renovate Residence Hall Interior In lieu of agency bonds, MSU is authorized to enter into a public-private partnership, built-to-suit agreement, or lease-purchase not to exceed the authorized amount. This authorization includes the authorization under KRS 45.763 and 45A.077.	Calloway	2020-2022	Awaiting Initiation by Agency			
Renovation of Blackburn Science Building Comments: Other Renovations being determined to spend remainder of project funds.	Calloway	CPBOC-3/01/19	Complete/Not Closed Out	100	04/22/21	04/29/21
Replace Campus Comm Infrastructure (Fiber Ring) Comments: no change per Tommy Phillips email 9/24/22	Calloway	2020-2022	In Construction	6	06/30/23	
Replace Expo Center Roof	Calloway	2022-2024	Awaiting Initiation by Agency			
Replace Residence Hall Domestic Water Piping In lieu of agency bonds, MSU is authorized to enter into a public-private partnership, built-to-suit agreement, or lease-purchase not to exceed the authorized amount. This authorization includes the authorization under KRS 45.763 and 45A.077.	Calloway	2020-2022	Awaiting Initiation by Agency			
Upgrade Campus Network	Calloway	2016-2018	Complete/In Warranty	100	06/30/22	06/09/22
Upgrade Campus Phone System	Calloway	2016-2018	Complete/In Warranty	100	06/30/22	06/09/22

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QUARTERLY CAPITAL PROJECTS STATUS REPORT - SUPPLEMENT

Reporting Agency: Murray State University

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<u>Cabinet/Agency/Project Title</u>	<u>Scheduled Closeout</u>	<u>Account Balance</u>	<u>Explanation - Why has the account not been closed?</u>
Postsecondary Education Cabinet/Murray State University Renovation of Blackburn Science Building	05/29/22	\$684,735.58	Other Renovations being determined to spend remainder of project funds.

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Postsecondary Education Cabinet/Northern Kentucky University						
Acquire Land/Master Plan 2010-2012 Approved pursuant to KRS 45.763 2011 - \$2.5 million in agency bond proceeds for 26 parcels of land, primarily single family homes, included in Board-approved land acquisition and Master Plan Land acquisition area, to be acquired over many years, is outlined in 2009 Master Plan	Campbell	2010-2012	Planning			
* Asset Preservation Pool - 2022-2024 Sub-projects: Asset Preservation Pool - 2022-2024 (Sub-project: Renew E&G Building Systems - Admin Center RR Rpl) Asset Preservation Pool - 2022-2024 (Sub-project: Renew E&G Building Systems - Landrum Floor/RR Rpl) Asset Preservation Pool - 2022-2024 (Sub-project: Renew E&G Building Systems - Student Union Roof) Asset Preservation Pool - 2022-2024 (Sub-project: Renew/Renovate Fine Arts Center Phase II) Asset Preservation Pool - 2022-2024 (Sub-project: Renew/Renovate Nunn Hall) Asset Preservation Pool - 2022-2024 (Sub-project: Renew/Renovate Steely Library)	Campbell	2022-2024	Multiple Subprojects			
Asset Preservation Pool - 2022-2024 (Sub-project: Renew E&G Building Systems - Admin Center RR Rpl)	Campbell	2022-2024	Planning			
Asset Preservation Pool - 2022-2024 (Sub-project: Renew E&G Building Systems - Landrum Floor/RR Rpl)	Campbell	2022-2024	Planning			
Asset Preservation Pool - 2022-2024 (Sub-project: Renew E&G Building Systems - Student Union Roof)	Campbell	2022-2024	Awaiting Initiation by Agency			
Asset Preservation Pool - 2022-2024 (Sub-project: Renew/Renovate Fine Arts Center Phase II)	Campbell	2022-2024	Design/Phase A			
Asset Preservation Pool - 2022-2024 (Sub-project: Renew/Renovate Nunn Hall)	Campbell	2022-2024	Design/Phase A			
Asset Preservation Pool - 2022-2024 (Sub-project: Renew/Renovate Steely Library)	Campbell	2022-2024	Planning			
Construct Indoor Tennis Facility Approved pursuant to KRS 45.763	Campbell	2022-2024	Design/Phase A			
Construct Mixed-Use Facility with Student Housing Approved pursuant to KRS 45.763 Sub-projects: Construct Mixed-Use Facility with Student Housing (Sub-project: Phase I - North Side) - Complete/Closed Out Construct Mixed-Use Facility with Student Housing (Sub-project: Phase II - South Side)	Campbell	2016-2018	Multiple Subprojects			

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Construct Mixed-Use Facility with Student Housing (Sub-project: Phase II - South Side) Mixed-use development of 20-30,000 square feet of full-service and casual restaurant and retail tenants, a 100-110 room hotel, 150-200 market rate apartments, parking and office space	Campbell	2016-2018	Planning			
Construct Research/Innovation Building Approved pursuant to KRS 45.763	Campbell	2022-2024	Awaiting Initiation by Agency			
Construct/Acquire New Residence Hall 2016-2018 Sub-projects: Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Callahan Hall Renovation Phase I) Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Callahan Hall Renovation Phase II) Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Commonwealth Hall Renovation) - Complete/Closed Out Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Construct New Residence Hall) Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Install Univ Suites LED Lights) Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Kentucky Hall Renovation) - Complete/Closed Out Construct/Acquire New Residence Hall 2016-2018 (Sub-project: KY/CW/Univ. Suites Roof Replacements) Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Norse Hall Exterior Repairs) - Complete/Closed Out Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Norse Hall Renovations) Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Replace Callahan Boilers #2 & #3) Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Univ. Suites Cooling Tower Replacement) Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Univ. Suites Exterior Façade Repairs) Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Woodcrest Apartments Stair Replacement) - Cancelled	Campbell	2016-2018	Multiple Subprojects			
Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Callahan Hall Renovation Phase I)	Campbell	2016-2018	Complete/In Warranty	100	03/31/22	03/11/22
Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Callahan Hall Renovation Phase II)	Campbell	2016-2018	Awarding Contract			
Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Construct New Residence Hall) CM at-Risk project delivery method reported to CPBOC on 11/20/2018	Campbell	2016-2018	Complete/Not Closed Out	100	07/20/21	08/13/21
Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Install Univ Suites LED Lights)	Campbell	2016-2018	Complete/In Warranty	100	07/15/22	07/15/22
Construct/Acquire New Residence Hall 2016-2018 (Sub-project: KY/CW/Univ. Suites Roof Replacements)	Campbell	2016-2018	In Construction	95	10/31/22	
Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Norse Hall Renovations) Comments: The contractor is addressing numerous issues related to completion and thus substantial completion has not yet been approved, although we expect it to occur within a few weeks.	Campbell	2016-2018	In Construction	95	07/30/22	

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Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Replace Callahan Boilers #2 & #3)	Campbell	2016-2018	In Construction	85	11/01/22	
Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Univ. Suites Cooling Tower Replacement)	Campbell	2016-2018	Complete/In Warranty	100	05/31/22	05/31/22
Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Univ. Suites Exterior Façade Repairs)	Campbell	2016-2018	Planning			
Enhance Student Union Sub-project: Enhance Student Union (Sub-project: Food Service Renovations) Enhance Student Union (Sub-project: Replace SU Ballroom AV/IT) - Complete/Closed Out	Campbell	2020-2022	Multiple Subprojects			
Enhance Student Union (Sub-project: Food Service Renovations)	Campbell	2020-2022	Complete/Closed Out	100	08/01/21	08/01/21
* Expand Herrmann Science Center	Campbell	2022-2024	A/E Selection			
Expand/Renovate Regents Hall	Campbell	2022-2024	Awaiting Initiation by Agency			
Reconstruct West Side Parking	Campbell	2018-2020	Awaiting Initiation by Agency			
Renew E&G Building Systems Projects Pool Asset Preservation Pool - 2022-2024 authorization will be used instead	Campbell	2020-2022	Awaiting Initiation by Agency			
Renew/Renovate Fine Arts Center Phase II Asset Preservation Pool - 2022-2024 authorization will be used instead	Campbell	2022-2024	Awaiting Initiation by Agency			
Renew/Renovate Nunn Hall Asset Preservation Pool - 2022-2024 authorization will be used instead	Campbell	2022-2024	Awaiting Initiation by Agency			
Renew/Renovate Steely Library Asset Preservation Pool - 2022-2024 authorization will be used instead	Campbell	2022-2024	Awaiting Initiation by Agency			
Renovate Brown Building	Campbell	2020-2022	Complete/In Warranty	100	07/14/22	08/01/22
Renovate Residence Halls	Campbell	2020-2022	Awaiting Initiation by Agency			
Renovate/Construct Campbell Hall Approved pursuant to KRS 45.763	Campbell	2020-2022	Awaiting Initiation by Agency			
Renovate/Construct Civic Center Building	Campbell	2022-2024	Planning			
Renovate/Expand Baseball Field	Campbell	2022-2024	Awaiting Initiation by Agency			
Replace Event Center Technology	Campbell	2020-2022	Awaiting Initiation by Agency			

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Approved pursuant to KRS 45.763						
Replace Recreation Field Turf	Campbell	2022-2024	Awaiting Initiation by Agency			
Replace Underground Utility Infrastructure	Campbell	2022-2024	Awaiting Initiation by Agency			
Upgrade Admin/IT Infrastructure Pool	Campbell	2020-2022	Awaiting Initiation by Agency			
Approved pursuant to KRS 45.763						

* indicates projects involving General Fund supported bonds or "state" cash (General Fund, Investment Income, Capital Construction Surplus, Contingency Fund, Emergency Fund, or Statewide Deferred Maintenance Fund).

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<u>Cabinet/Agency/Project Title</u>	<u>Scheduled Closeout</u>	<u>Account Balance</u>	<u>Explanation - Why has the account not been closed?</u>
Postsecondary Education Cabinet/Northern Kentucky University			
Construct/Acquire New Residence Hall 2016-2018 (Sub-project: Construct New Residence Hall)	09/13/22	\$77,797.00	The CM continues to work with contractors on several punch list items.

* indicates projects involving General Fund supported bonds or "state" cash (General Fund, Investment Income, Capital Construction Surplus, Contingency Fund, Emergency Fund, or Statewide Deferred Maintenance Fund).

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Postsecondary Education Cabinet/University of Kentucky						
Acquire Data Center Hardware - UK HealthCare	Fayette	2022-2024	Awaiting Initiation by Agency			
Acquire Information Technology Systems	Fayette	2022-2024	Awaiting Initiation by Agency			
Acquire Land	Fayette	2022-2024	Multiple Subprojects			
Sub-projects:						
Acquire Land (Sub-project: Angliana) - 6/17/2022 - FCR 14						
Acquire Land (Sub-project: REI) - 6/17/2022 - FCR 16						
Acquire Land	Multi	2020-2022	Multiple Subprojects			
Sub-projects:						
Acquire Land (Sub-project: CAFE Land Purchase) - 6/19/2020 - FCR 7 (prior authorization) - Complete/Closed Out						
Acquire Land (Sub-project: 612 - 620 South Broadway) - 12/15/2020 - FCR 11						
Acquire Land (Sub-project: Chesney Properties) - 12/14/2021 - FCR 12						
Acquire Land (Sub-project: 612 - 620 South Broadway)	Fayette	2020-2022	Complete/Closed Out		08/03/21	08/03/21
Acquire Land (Sub-project: Angliana)	Fayette	2022-2024	Other			
Comments: BOT approval 6/17/22 FCR 14; awaiting execution of deed						
Acquire Land (Sub-project: Chesney Properties)	Fayette	2020-2022	Complete/Closed Out		12/17/21	12/17/21
Acquire Land (Sub-project: REI)	Fayette	2022-2024	Other			
Comments: BOT approval 6/17/22 FCR 16; awaiting execution of deed						
Acquire Medical Facility 1	Fayette	2022-2024	Awaiting Initiation by Agency			
Acquire Medical Facility 2	Fayette	2022-2024	Awaiting Initiation by Agency			
Acquire Telemedicine/Virtual ICU 6/21/2019 - FCR 14	Fayette	2018-2020	In Construction	95	12/30/22	
Acquire Telemedicine/Virtual ICU	Fayette	2022-2024	Awaiting Initiation by Agency			
Acquire/Improve Administrative Facility	Fayette	2022-2024	Awaiting Initiation by Agency			
Acquire/Improve Elevator Systems - UK HealthCare	Fayette	2022-2024	Multiple Subprojects			
Sub-projects:						
Acquire/Improve Elevator Systems - UK HealthCare (Parking Structure 8) - 9/16/2022 - FCR 11						
Acquire/Improve Elevator Systems - UK HealthCare (Parking Structure 8)	Fayette	2022-2024	Planning			
Acquire/Improve Golf Facility	Fayette	2022-2024	Awaiting Initiation by Agency			

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Acquire/Improve Medical/Administrative Facility 1 - UK HealthCare Approved pursuant to KRS 45.763	Fayette	2022-2024	Awaiting Initiation by Agency			
Acquire/Improve Medical/Administrative Facility 2 - UK HealthCare	Fayette	2022-2024	Awaiting Initiation by Agency			
Acquire/Improve Medical/Administrative Facility 3 - UK HealthCare	Fayette	2022-2024	Awaiting Initiation by Agency			
Acquire/Partnership Medical System	Fayette	2022-2024	Awaiting Initiation by Agency			
Acquire/Renovate Clinical Research Facility	Fayette	2022-2024	Awaiting Initiation by Agency			
Acquire/Renovate Housing Approved pursuant to KRS 45.763 Alpha Gamma Delta - 4/30/2019 - FCR 13	Fayette	2018-2020	Complete/Closed Out	100	03/05/21	03/05/21
Acquire/Upgrade IT System - UK HealthCare	Fayette	2022-2024	Awaiting Initiation by Agency			
ADA Compliance Pool	Fayette	2022-2024	Awaiting Initiation by Agency			
* Asset Preservation Pool - 2022-2024 Sub-projects:	Fayette	2022-2024	Multiple Subprojects			
Asset Preservation Pool - 2022-2024 (Sub-project: FY23 Various Infrastructure/System Improvements 0) - 6/17/2022 - FCR 19						
Asset Preservation Pool - 2022-2024 (Sub-project: FY23 Various Infrastructure/System Improvements 1)						
Asset Preservation Pool - 2022-2024 (Sub-project: FY24 Various Infrastructure/System Improvements) - 6/17/2022 - FCR 19						
Asset Preservation Pool - 2022-2024 (Sub-project: Improve Miller Hall) - 6/17/2022 - FCR 19						
Asset Preservation Pool - 2022-2024 (Sub-project: Improve Multi-Disciplinary Science Building) - 6/17/2022 - FCR 19						
Asset Preservation Pool - 2022-2024 (Sub-project: Improve Patterson Office Tower) - 6/17/2022 - FCR 19						
Asset Preservation Pool - 2022-2024 (Sub-project: Improve Pence Hall) - 6/17/2022 - FCR 19						
Asset Preservation Pool - 2022-2024 (Sub-project: Improve Peterson Service Building) - 6/17/2022 - FCR 19						
Asset Preservation Pool - 2022-2024 (Sub-project: Improve White Hall Classroom Building Phase I) - 6/17/2022 - FCR 19						
Asset Preservation Pool - 2022-2024 (Sub-project: Improve White Hall Classroom Building Phase II) - 6/17/2022 - FCR 19						
Asset Preservation Pool - 2022-2024 (Sub-project: FY23 Various Infrastructure/System Improvements 0)	Fayette	2022-2024	Multiple Subprojects			
Asset Preservation Pool - 2022-2024 (Sub-project: FY23 Various Infrastructure/System Improvements 1) Emergency Replacement of Sanitary Sewer Line - Funkhouser Drive	Fayette	2022-2024	Complete/In Warranty	100	09/08/22	09/08/22
Asset Preservation Pool - 2022-2024 (Sub-project: FY24 Various Infrastructure/System Improvements)	Fayette	2022-2024	Awaiting Initiation by Agency			

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Asset Preservation Pool - 2022-2024 (Sub-project: Improve Miller Hall)	Fayette	2022-2024	Awaiting Initiation by Agency			
Asset Preservation Pool - 2022-2024 (Sub-project: Improve Multi-Disciplinary Science Building)	Fayette	2022-2024	Design/Phase A			
Asset Preservation Pool - 2022-2024 (Sub-project: Improve Patterson Office Tower)	Fayette	2022-2024	Awaiting Initiation by Agency			
Asset Preservation Pool - 2022-2024 (Sub-project: Improve Pence Hall)	Fayette	2022-2024	Design/Phase A			
Asset Preservation Pool - 2022-2024 (Sub-project: Improve Peterson Service Building)	Fayette	2022-2024	Awaiting Initiation by Agency			
Asset Preservation Pool - 2022-2024 (Sub-project: Improve White Hall Classroom Building Phase I)	Fayette	2022-2024	Planning			
Asset Preservation Pool - 2022-2024 (Sub-project: Improve White Hall Classroom Building Phase II)	Fayette	2022-2024	Awaiting Initiation by Agency			
Clinical Information System Sub-projects: Clinical Information System (Sub-project: Surgery and Anesthesia E.H.R. Implementation) - 8/02/2017 - 18 IT 05 - Complete/Closed Out Clinical Information System (Sub-project: Telemetry Hardware and Software for Chandler) - 9/22/2016 - 17 E 06	Fayette	2016-2018	Complete/Closed Out	100	09/30/22	09/30/22
Clinical Information System (Sub-project: Telemetry Hardware and Software for Chandler)	Fayette	2016-2018	Complete/Closed Out	100	09/30/22	09/30/22
Construct Agriculture Federal Research Facility I	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Agriculture Federal Research Facility II	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Agriculture Research Facility 1	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Agriculture Research Facility 2 Poultry Research Facility Relocation - 12/11/2018 - FCR 10 CM-at-Risk project delivery method reported to CPBOC on 2/19/2019 Use of \$354,000 in federal funds reported to CPBOC on 12/15/2021	Woodford	2018-2020	Complete/In Warranty	100	08/04/22	08/04/22
Construct Agriculture Research Facility 2	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Ambulatory Facility - UK HealthCare Cancer Treatment Center/Ambulatory Surgery Center - 5/4/2021 - FCR 12 Approved pursuant to KRS 45.763	Fayette	2020-2022	Design/Phase A			
Construct Beam Institute	Fayette	2022-2024	Awaiting Initiation by Agency			

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Construct Beam Institute 1 6/19/2020 - FCR 9	Fayette	2020-2022	Combined Authorities			
Construct Beam Institute 2 Construct Maturation Building - 5/04/2021 - FCR 10 Use of private funds reported to CPBOC on 5/18/2021	Fayette	2020-2022	Combined Authorities			
Construct Beam Institute I and II (combined auth) Authorizations for the following projects have been combined (2/18/2022 - FCR 13) and reported to CPBOC on 5/19/2022: Construct Beam Institute 1 (Still Building) - \$10 million in restricted funds Construct Beam Institute 2 (Maturation Building) - \$10 million in restricted funds (use of \$125,000 in private funds reported to CPBOC on 5/18/2021) Projects were bid together on November 9, 2021 - \$9.525 million combined revised scope Sub-projects: Construct Beam Institute I and II (combined auth) (Sub-project: Maturation Building) Construct Beam Institute I and II (combined auth) (Sub-project: Still Building)	Fayette	2020-2022	Multiple Subprojects			
Construct Beam Institute I and II (combined auth) (Sub-project: Maturation Building)	Fayette	2020-2022	In Construction	9	04/11/23	
Construct Beam Institute I and II (combined auth) (Sub-project: Still Building)	Fayette	2020-2022	In Construction	7	04/11/23	
Construct Childcare Center Facility	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct College of Medicine Building Design Phase - 5/4/2021 - FCR 13	Fayette	2020-2022	Design/Phase A			
Construct Cross Country Trail	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Data Center - UK HealthCare Approved pursuant to KRS 45.763	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Digital Village Building 3A	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Digital Village Building 3B	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Engineering Building	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Equine Campus, Phase 2	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Facilities Shops and Storage Facility Vaughan Warehouse #1 and #7 Replacement for UK HealthCare - 6/17/2021 - FCR 11	Fayette	2020-2022	In Construction	55	04/11/23	
Construct Facilities Shops and Storage Facility	Fayette	2022-2024	Awaiting Initiation by Agency			

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* Construct Health Education Building Approved pursuant to KRS 45.763 CM-at-Risk project delivery method reported to CPBOC on 7/21/2022	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Hospice Facility - UK HealthCare	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Indoor Track Approved pursuant to KRS 45.763 2/18/2022 - FCR 14	Fayette	2020-2022	Design/Phase B			
Construct Indoor Track Approved pursuant to KRS 45.763	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Library Depository Facility	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Medical Facility 1 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Medical Facility 2 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Medical Facility 3 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Medical/Administrative Facility 1 - UK HealthCare	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Medical/Administrative Facility 2 - UK HealthCare	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Medical/Administrative Facility 3 - UK HealthCare	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Metal Arts/Digital Media Building	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct New Alumni Center Approved pursuant to KRS 45.763	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct North Farm Agricultural Research Facility	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Office Park at Coldstream Approved pursuant to KRS 45.763	Fayette	2020-2022	Awaiting Initiation by Agency			
Construct Office Park at Coldstream Approved pursuant to KRS 45.763	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Patient Care Facility (combined auth)	Fayette	2002-2004	Multiple Subprojects			

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<p>Authorizations for the following projects were combined: Improve Central Heating Plant (2002-04) - \$4 million (2004-06 Additional) Expand Plant Capacity/Infrastructure (2002-04) - \$23 million (2004-06 Additional) Replace Cooling Plant Chillers (2002-04) - \$6 million (2004-2006 Additional) Design Patient Bed Tower - Hospital (2002-04) - \$10 million Land Acquisition Pool (2004-06) - \$5 million of \$15 million Construct Patient Care Facility - Hospital (2004-06) - \$200 million (\$100 million in Agency Bonds) Construct Patient Care Facility Phase II - Hospital (2006-08) - \$175 million (\$150 million in Agency Bonds) Purchase Furniture and Equipment - Patient Care Facility (2006-08) - \$27 million Expand Patient Care Facility - Hospital Phase III (2008-10) - \$250 million (HB 4 allowed a \$100 million Agency Bond authorization - meant to replace a portion of the original restricted fund authorization) UK did not utilize \$100 million authorization for Expand Patient Care Facility - Hospital Phase 4 (2010-12) Expand Patient Care Facility - Hospital Phase 3 (2012-14) - \$50 million</p>						
<p>Subprojects (Data Center and Support was also a component): Construct Patient Care Facility - Hospital (Subproject 1 - Huguelet Drive Extension) - Complete/Closed Out Construct Patient Care Facility - Hospital (Subproject 2 - Parking Garage) - Complete/Closed Out Construct Patient Care Facility - Hospital (Subproject 3 - Cooling Plant #1) - Complete/Closed Out Construct Patient Care Facility - Hospital (Subproject 4 - Central Utilities Plant Expansion) - Complete/Closed Out Construct Patient Care Facility - Hospital (Subproject 5 - Building) - Complete/Closed Out Construct Patient Care Facility - Hospital (Subproject 6 - Pavilion A, OR Suites and Support) - Complete/Closed Out Construct Patient Care Facility - Hospital (Subproject 7 - Eighth Floor Patient Beds and Pharmacy) - Complete/Closed Out Construct Patient Care Facility - Hospital (Subproject 8 - Clinical Decision Unit) - Complete/Closed Out Construct Patient Care Facility (combined auth) (Sub-project 1J: Fit-up Pavilion A Basement and Other Improvements) - 12/15/2020 - FCR 15</p>						
Construct Patient Care Facility (combined auth) (Sub-project 1J: Fit-up Pavilion A Basement/Etc.)	Fayette	2002-2004	In Construction	42	01/02/24	
Construct Police Headquarters	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Research/Incubator Facility Approved pursuant to KRS 45.763 2/21/2020 - FCR 7 (prior authorization) P3 project delivery method reported to CPBOC on 5/19/2020 CPBOC approved development agreement on 8/19/2020	Fayette	2020-2022	Awaiting Initiation by Agency			
Construct Retail/Parking Facility 1 Approved pursuant to KRS 45.763	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Retail/Parking Facility 2 Approved pursuant to KRS 45.763	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct State Street Medical Facilities	Fayette	2022-2024	Awaiting Initiation by Agency			

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Construct Student Housing	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Teaching Pavilion	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct Tennis Facility Approved pursuant to KRS 45.763	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Expand/Improve Ambulatory Care - UK HealthCare Approved pursuant to KRS 45.763 Sub-projects: Construct/Expand/Improve Ambulatory Care - UK HealthCare (Sub-project: HA Forensics/Pediatric Sleep) - 5/04/2021 - FCR 11 (prior authorization)	Fayette	2022-2024	Multiple Subprojects			
Construct/Expand/Improve Ambulatory Care - UK HealthCare (Sub-project: HA Forensics/Pediatric Sleep) Use of private funds reported to CPBOC on 5/18/2021	Fayette	2022-2024	Design/Phase B			
Construct/Fit-Up Retail Space	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Improve Athletics Facility	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Improve Athletics Playing Fields 1	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Improve Athletics Playing Fields 2	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Improve Athletics Playing Fields 3	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Improve Dining Facilities	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Improve Greek Housing Sub-projects: Construct/Improve Greek Housing (Sub-project: Alpha Delta Pi) - 6/19/2020 - FCR 8 Construct/Improve Greek Housing (Sub-project: Delta Gamma) - 2/19/2021 - FCR 9	Fayette	2020-2022	Multiple Subprojects			
Construct/Improve Greek Housing	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Improve Greek Housing (Sub-project: Alpha Delta Pi)	Fayette	2020-2022	Complete/Not Closed Out	100	08/09/21	08/09/21
Construct/Improve Greek Housing (Sub-project: Delta Gamma) CM-at-Risk project delivery method reported to CPBOC on 3/15/2021	Fayette	2020-2022	Revising/Rebidding			
Construct/Improve Gymnastic Practice Facility	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Improve Innovation Facility	Fayette	2022-2024	Awaiting Initiation by Agency			

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Approved pursuant to KRS 45.763						
Construct/Improve Medical/Administrative Facilities - UK HealthCare	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Improve Medical/Administrative Facility 1 - UK HealthCare	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Improve Medical/Administrative Facility 2 - UK HealthCare	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Improve Medical/Administrative Facility 3 - UK HealthCare	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Improve Office Building	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Improve Parking I	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Improve Parking II	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Improve Recreation Quad 1	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Relocate Data Center	Fayette	2022-2024	Awaiting Initiation by Agency			
Construct/Relocate/Replace Greenhouses	Fayette	2022-2024	Awaiting Initiation by Agency			
Decommission Facilities	Fayette	2022-2024	Awaiting Initiation by Agency			
Decommission Facilities Demolition of Kirwan-Blanding - 12/12/2017 - FCR 6	Fayette	2016-2018	Complete/Not Closed Out	100	06/30/21	06/30/21
Emergency Replacement of Grain and Forage Center of Excellence 4/29/2022 - FCR 9; 6/17/2022 - FCR 17	Caldwell	CPBOC-5/01/22	A/E Selection			
Expand KGS Well Sample and Core Repository	Fayette	2022-2024	Awaiting Initiation by Agency			
Expand Student Center (Dining) 10/18/2019 - PR 1 (2018-2020 Improve Student Center Space 2 authorization sometimes CM-at-Risk project delivery method reported to CPBOC on 1/21/2020)	Fayette	CPBOC-12/01/19	Complete/Not Closed Out	100	07/30/21	07/30/21
* Expand/Renovate/Upgrade Law Building	Fayette	2014-2016	Complete/Not Closed Out	100	08/08/19	08/08/19
Facilities Renewal and Modernization	Fayette	2020-2022	Multiple Subprojects			

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Sub-projects:						
Facilities Renewal and Modernization (Sub-project: Barnhart Building - Design) - 6/17/2022 - FCR 18						
Facilities Renewal and Modernization (Sub-project: Campus Enabling Infrastructure) - 6/17/2022 - FCR 18						
Facilities Renewal and Modernization (Sub-project: Frazee Interior Fit-Up) - 6/17/2022 - FCR 18						
Facilities Renewal and Modernization (Sub-project: Memorial Hall) - 6/17/2022 - FCR 18						
Facilities Renewal and Modernization (Sub-project: Reynolds Building #1 Phase II) - 6/17/2022 - FCR 18						
Facilities Renewal and Modernization (Sub-project: Barnhart Building - Design)	Fayette	2022-2024	A/E Selection			
Facilities Renewal and Modernization (Sub-project: Campus Enabling Infrastructure)	Fayette	2022-2024	Awaiting Initiation by Agency			
Facilities Renewal and Modernization (Sub-project: Frazee Interior Fit-Up)	Fayette	2022-2024	Design/Phase C			
Facilities Renewal and Modernization (Sub-project: Memorial Hall)	Fayette	2022-2024	Awaiting Initiation by Agency			
Facilities Renewal and Modernization (Sub-project: Reynolds Building #1 Phase II)	Fayette	2022-2024	Awaiting Initiation by Agency			
Facilities Renewal and Modernization 2	Fayette	2022-2024	Awaiting Initiation by Agency			
Facilities Renewal, Modernization & Deferred Maintenance	Fayette	2016-2018	Multiple Subprojects			
Sub-projects:						
Facilities Renewal, Modernization & Deferred Maintenance (Sub-project: Chemistry/Physics 3rd Floor) - 10/20/2017 - PR 4						
Facilities Renewal, Modernization & Deferred Maintenance (Sub-project: Grehan Journalism Building) - 10/20/2017 - PR 4 - Complete/Closed Out						
Facilities Renewal, Modernization & Deferred Maintenance (Sub-project: Infrastructure) - 10/20/2017 - PR 4 - Complete/Closed Out						
Facilities Renewal, Modernization & Deferred Maintenance (Sub-project: Chemistry/Physics 3rd Floor)	Fayette	2016-2018	Complete/In Warranty	100	07/27/22	07/27/22
Implement Land Use Plan	Fayette	2022-2024	Awaiting Initiation by Agency			
Sub-projects:						
Implement Land Use Plan (Sub-project: Meadowcrest) - 6/17/2022 - FCR 15						
Implement Land Use Plan (Sub-project: Meadowcrest)	Fayette	2022-2024	Other			
Comments: BOT approval 6/17/22 FCR 15						
Implement Patient Communication System - UK HealthCare	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Academic Facility 1	Fayette	2022-2024	Awaiting Initiation by Agency			

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Improve Academic/Administrative Space 1 Renew/Modernize Cooper House - 6/17/2021 - FCR 9	Fayette	2020-2022	In Construction	87	10/07/22	
Improve Academic/Administrative Space 1	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Academic/Administrative Space 2	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Academic/Administrative Space 3	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Academic/Administrative Space 4	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Administrative/Office Facility - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Anderson Tower	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Athletics Facility 1	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Athletics Facility 2 Sub-projects: Improve Athletics Facility 2 (Sub-project: Nutter Fieldhouse) - 2/18/2022 - FCR 15 (prior authorization)	Fayette	2022-2024	Multiple Subprojects			
Improve Athletics Facility 2 (Sub-project: Nutter Fieldhouse)	Fayette	2022-2024	Planning			
Improve Athletics Facility 3	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Athletics Facility 4	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Athletics Facility 5	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Barnhart Building 1	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Barnhart Building 2 Approved pursuant to KRS 45.763	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Baseball Facility Phase II	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Boone Tennis Center	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Building Electrical Systems	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Building Mechanical Systems AG North HVAC - 12/11/2018 - FCR 12	Fayette	2018-2020	Complete/Closed Out	100	03/19/21	03/19/21
Improve Building Mechanical Systems	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Building Shell Systems Peterson Service Building Window Replacement - 12/14/2021 - FCR 14	Fayette	2020-2022	In Construction	10	04/28/23	

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Improve Building Shell Systems Sub-projects: Improve Building Shell Systems (Sub-project: William T. Young Library Roof Replacement) - 12/14/2021 - FCR 15 (prior authorization)	Fayette	2022-2024	Multiple Subprojects			
Improve Building Shell Systems (Sub-project: William T. Young Library Roof Replacement)	Fayette	2020-2022	Awarding Contract			
Improve Building Systems - UK HealthCare Sub-projects: Improve Building Systems - UK HealthCare (Sub-project: Pavilion H - Replace AHU S1 & S1A) - 10/15/2020 - FCR 2; 9/10/2021 - FCR 8 Improve Building Systems - UK HealthCare (Sub-project: Pavilion WH - Replace AHU 4 & 5) - 10/15/2020 - FCR 3	Fayette	2020-2022	Multiple Subprojects			
Improve Building Systems - UK HealthCare Sub-projects: Improve Building Systems - UK HealthCare (Sub-project: Good Samaritan Emergency Generator Upgrade) - 12/15/2020 - FCR 16 (prior authorization)	Fayette	2022-2024	Multiple Subprojects			
Improve Building Systems - UK HealthCare (Sub-project: Good Samaritan Emergency Generator Upgrade)	Fayette	2022-2024	Revising/Rebidding			
Improve Building Systems - UK HealthCare (Sub-project: Pavilion H - Replace AHU S1 & S1A)	Fayette	2020-2022	In Construction	74	12/20/22	
Improve Building Systems - UK HealthCare (Sub-project: Pavilion WH - Replace AHU 4 & 5)	Fayette	2020-2022	Complete/In Warranty	100	08/15/22	08/15/22
Improve Building Systems - UKHC Sub-projects: Improve Building Systems - UKHC (Sub-project: Pav H AHU) - 9/13/2019 - FCR 5 - Complete/Closed Out Improve Building Systems - UKHC (Sub-project: Pav HA AHU #1, 2, & 3) - 9/14/2018 - FCR 6 Improve Building Systems - UKHC (Sub-project: Pav HA AHU #8) - 6/16/2017 - FCR 9 - Complete/Closed Out	Fayette	2016-2018	Multiple Subprojects			
Improve Building Systems - UKHC (Sub-project: Pav HA AHU #1, 2, & 3)	Fayette	2016-2018	Complete/In Warranty	100	09/20/21	09/20/21
Improve CAER Facilities Sub-projects: Improve CAER Facilities (Sub-project: Carbon Fiber Development Facility) - 2/21/2020 - FCR 10; Authorization switched to Improve Center for Applied Energy Research Facilities (Sub-project: Carbon Fiber Developmnt Facility) - 6/17/2022 - FCR 23 Improve CAER Facilities (Sub-project: Laboratory Building #1 Chiller Replacement) - 2/21/2020 - FCR 8 - Complete/Closed Out Improve CAER Facilities (Sub-project: Mineral Process Building Expansion) - 2/21/2020 - FCR 9	Fayette	2018-2020	Multiple Subprojects			
Improve CAER Facilities (Sub-project: Mineral Process Building Expansion)	Fayette	2018-2020	In Construction	76	10/07/22	

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Use of federal funds reported to CPBOC on 6/25/2020						
Improve Campus Core Quadrangle Facilities	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Campus Infrastructure Upgrade	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Campus Parking and Transportation System Approved pursuant to KRS 45.763 Sub-projects: Improve Campus Parking and Transportation System (Sub-project: 2023 Maintenance) - 6/17/2022 - FCR 21 Improve Campus Parking and Transportation System (Sub-project: Parking Structure 2 Renovations) - 9/16/2022 - FCR 8	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Campus Parking and Transportation System Sub-projects: Improve Campus Parking and Transportation System (Sub-project: 2020 Maintenance) - 12/10/2019 - FCR 9; Use of restricted funds component of authorization - Complete/Closed Out Improve Campus Parking and Transportation System (Sub-project: Parking Structure #5) - 12/11/2018 - FCR 13; Approved pursuant to KRS 45.763/Funded pursuant to KRS 45A.007; CPBOC approved development agreement, including facilities lease, on May 14, 2019	Fayette	2018-2020	Multiple Subprojects			
Improve Campus Parking and Transportation System (Sub-project: 2023 Maintenance)	Fayette	2022-2024	A/E Selection			
Improve Campus Parking and Transportation System (Sub-project: Parking Structure #5)	Fayette	2018-2020	Complete/Not Closed Out	100	10/09/20	10/09/20
Improve Campus Parking and Transportation System (Sub-project: Parking Structure 2 Renovations)	Fayette	2022-2024	Design/Phase A			
Improve Campus Parking and Transportation System 2020 Approved pursuant to KRS 45.763 Sub-project: Improve Campus Parking and Transportation System 2020 (Sub-project: 2021 Maintenance) - 2/19/2021 - FCR 5; Use of restricted funds component of authorization Improve Campus Parking and Transportation System 2020 (Sub-project: 2022 Maintenance) - 12/14/2021 - FCR 13; Use of restricted funds component of authorization	Fayette	2020-2022	Multiple Subprojects			
Improve Campus Parking and Transportation System 2020 (Sub-project: 2021 Maintenance)	Fayette	2020-2022	Complete/In Warranty	100	11/01/21	11/01/21
Improve Campus Parking and Transportation System 2020 (Sub-project: 2022 Maintenance)	Fayette	2020-2022	In Construction	91	10/03/22	
Improve Center for Applied Energy Research Facilities	Fayette	2022-2024	Multiple Subprojects			

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Sub-projects:						
Improve Center for Applied Energy Research Facilities (Sub-project: Carbon Fiber Developmnt Facility) - 6/17/2022 - FCR 23						
Improve Center for Applied Energy Research Facilities (Sub-project: Carbon Fiber Developmnt Facility)	Fayette	2022-2024	Design/Phase C			
Initially reported as Improve CAER Facilities (Sub-project: Carbon Fiber Development Facility) - 2/21/2020 - FCR 10						
Improve Central Plants	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Chemistry/Physics Building Phase 3	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Child Development Center - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Civil/Site Infrastructure University Court - 12/13/2016 - FCR 10	Fayette	2016-2018	Cancelled			
Improve Civil/Site Infrastructure	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Civil/Site Infrastructure 2018 Approved pursuant to KRS 45.763	Fayette	2018-2020	Multiple Subprojects			
Sub-project:						
Improve Civil/Site Infrastructure 2018 (Sub-project: Library Drive Extension Phase 1) - 2/22/2019 - FCR 6 - Complete/Closed Out						
Improve Civil/Site Infrastructure 2018 (Sub-project: South Campus Quad) - 12/10/2019 - FCR 13 - Cancelled						
Improve Civil/Site Infrastructure 2018 (Sub-project: South Campus Quad)	Fayette	2018-2020	Cancelled			
Improve Clinical/Ambulatory Services Approved pursuant to KRS 45.763	Fayette	2016-2018	Multiple Subprojects			
Sub-projects:						
Improve Clinical/Ambulatory Services (Sub-project: Cancer Services) - 6/22/2018 - FCR 6						
Improve Clinical/Ambulatory Services (Sub-project: Otolaryngology) - 6/24/2016 - FCR 14 - Complete/Closed Out						
Improve Clinical/Ambulatory Services (Sub-project: Radiation Medicine Accelerator/Brachytherapy) - 9/09/2016 - FCR 11						
Improve Clinical/Ambulatory Services (Sub-project: Cancer Services)	Fayette	2016-2018	Complete/In Warranty	100	11/02/21	11/02/21
Improve Clinical/Ambulatory Services (Sub-project: Radiation Medicine Accelerator/Brachytherapy)	Fayette	2016-2018	Complete/Not Closed Out	100	11/06/19	11/06/19
Improve Clinical/Ambulatory Services Facilities - UK HealthCare	Fayette	2022-2024	Awaiting Initiation by Agency			

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Improve Coldstream Research Campus Public Infrastructure - 5/5/2020 - FCR 5 (prior authorization); 5/4/2021 - FCR 9	Fayette	2020-2022	In Construction	89	12/15/22	
Improve Coldstream Research Campus	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve College of Agriculture, Food, and Environment Motor Pool Building	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Cooper House Prior authorization moved to Improve Academic/Administrative Space 1 - 6/17/2021 - FCR 9	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Dentistry Facility	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Division of Laboratory Animal Resources Facilities	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Electrical Infrastructure	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Electrical Infrastructure Sub-project: Improve Electrical Infrastructure (Sub-project: Ag North/South Complex) - 9/11/2020 - FCR 8	Fayette	2020-2022	In Construction	99	10/05/22	
Improve Elevator Systems	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Enterprise Networking 1	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Enterprise Networking 2	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Fume Hood Systems	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Funkhouser Building Approved pursuant to KRS 45.763 6/17/2022 - FCR 24 (Design)	Fayette	2022-2024	Planning			
Improve Good Samaritan Hospital Facilities	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Good Samaritan Hospital Facilities Sub-projects: Improve Good Samaritan Hospital Facilities (Sub-project: Interventional Radiology) - 2/22/2019 - FCR 7 - Cancelled Improve Good Samaritan Hospital Facilities (Sub-project: Magnetic Resonance Imaging) - 6/22/2018 - FCR 5 - Complete/Closed Out Improve Good Samaritan Hospital Facilities (Sub-project: Third Floor Renovation) - 2/21/2020 - FCR 11	Fayette	2018-2020	Multiple Subprojects			
Improve Good Samaritan Hospital Facilities (Sub-project: Third Floor Renovation)	Fayette	2018-2020	Complete/Not Closed Out	100	04/16/21	04/16/21

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Improve Housing Approved pursuant to KRS 45.763	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Jacobs Science Building 6/17/2022 - FCR 20	Fayette	2022-2024	Design/Phase A			
Improve Joe Craft Center	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Joe Craft Football Practice Facility	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Johnson Center	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Kastle Hall	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve King Library Sub-projects: Improve King Library (Sub-project: Replace Substation and Electrical Upgrades) - 9/16/2022 - FCR 10	Fayette	2022-2024	Multiple Subprojects			
Improve King Library (Sub-project: Replace Substation and Electrical Upgrades)	Fayette	2022-2024	Design/Phase C			
Improve Kingsbrook Lifecare Center - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Kroger Field Stadium Audio Visual Improvements - 2/18/2022 - FCR 16	Fayette	2020-2022	Complete/In Warranty	100	08/17/22	08/17/22
Improve Kroger Field Stadium	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Lancaster Aquatic Center 1	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Lancaster Aquatic Center 2	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Lexington Theological Seminary Facilities	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Library Facility	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Life Safety	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Markey Cancer Center Facilities	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve McVey Hall	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Mechanical Infrastructure	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Center Library	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Facility 1	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Facility 1 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			

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Improve Medical Facility 10 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Facility 11 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Facility 12 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Facility 13 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Facility 14 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Facility 15 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Facility 16 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Facility 17 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Facility 2	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Facility 2 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Facility 3 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Facility 4 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Facility 5 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Facility 6 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Facility 7 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Facility 8 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Facility 9 - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Medical Plaza	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Memorial Coliseum	Fayette	2022-2024	Awaiting Initiation by Agency			
This authorization may be used in addition to Facilities Renewal and Modernization project allocation depending upon condition of building						
Improve Memorial Coliseum	Fayette	2018-2020	Other			

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Design - 2/22/2019 - FCR 8 Comments: on hold						
Improve Memorial Hall	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Mineral Industries Building	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Multi-Disciplinary Science Building This authorization may be used in addition to Asset Preservation Pool - 2022-2024 project allocation depending upon condition of building	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Nursing Building	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Nutter Field House	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Nutter Training Facility	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Parking Garage 1	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Parking Garage 2	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Parking/Transportation System - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Parking/Transportation Systems 1 UK HealthCare	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Parking/Transportation Systems 2 UK HealthCare Approved pursuant to KRS 45.763	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Parking/Transportation Systems UK HealthCare Approved pursuant to KRS 45.763 Parking Structure 8 Expansion - Design Only - 6/17/2021 - FCR 10 CM-at-Risk project delivery method reported to CPBOC on 11/18/2021	Fayette	2020-2022	Design/Phase C			
Improve Pence Hall This authorization may be used in addition to Asset Preservation Pool 2022-2024 project allocation depending upon condition of building	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Peterson Service Building This authorization may be used in addition to Asset Preservation Pool - 2022-2024 project allocation depending upon condition of building	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Reynolds Building 1 This authorization may be used in addition to Renew/Modernize Facilities and Facilities Renewal and Modernization project allocations depending upon condition of building	Fayette	2022-2024	Awaiting Initiation by Agency			

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Improve Sanders-Brown Building See Improve Sanders-Brown Center on Aging/Neuroscience Facilities (combined auth)	Fayette	2020-2022	Combined Authorities			
Improve Sanders-Brown Center on Aging/Neuroscience Facilities (combined auth) Authorizations for the following projects have been combined (9/10/2021 - FCR 5) and reported to CPBOC on 10/21/2021: Improve Sanders-Brown Building - \$35 million in restricted funds Improve Sanders-Brown Center on Aging/Neuroscience Facilities Completion - \$14 million in bond funds and \$14 million in private funds Use of the \$14 million bond funds and \$14 million of the \$35 million restricted funds authorization is anticipated CM-at-Risk project delivery method reported to CPBOC on 2/22/2022	Fayette	2020-2022	Design/Phase B			
* Improve Sanders-Brown Center on Aging/Neuroscience Facilities Completion Approved pursuant to KRS 45.763 See Improve Sanders-Brown Center on Aging/Neuroscience Facilities (combined auth)	Fayette	2020-2022	Combined Authorities			
Improve Scovell Hall	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Seaton Center	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Senior Center	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Site/Civil Infrastructure - UK HealthCare	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Soccer/Softball Facility	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Spindletop Hall Facilities	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve State Street Medical Facilities	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Student Center Space 2	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Student Center Space 3	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Sturgill Development Building	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Taylor Education Building	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve UK HealthCare Facilities - UK Chandler Hospital	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve University Storage Facility	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Utilities Infrastructure	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Utilities Infrastructure - Royal Blue Health - UK	Fayette	2022-2024	Awaiting Initiation by Agency			

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Improve W.T. Young Facility	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Whalen Building and Bay Facility - Kentucky Advanced Manufacturing	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve White Hall Classroom Building This authorization may be used in addition to Asset Preservation Pool - 2022-2024 project allocation depending upon condition of building	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Wildcat Coal Lodge	Fayette	2022-2024	Awaiting Initiation by Agency			
Improve Willard Medical Education Building	Fayette	2022-2024	Awaiting Initiation by Agency			
Lease - Purchase Campus Call Center System	Fayette	2022-2024	Awaiting Initiation by Agency			
Lease - Purchase Campus Infrastructure Networking Equipment to Improve UK Network (Data Center of the Future) - 9/4/2019 - 20 IT 08	Fayette	2018-2020	In Construction	90	10/31/22	
Lease - Purchase Campus IT Systems	Fayette	2022-2024	Awaiting Initiation by Agency			
Lease - Purchase High Performance Computer	Fayette	2022-2024	Awaiting Initiation by Agency			
Lease - Purchase Network Security	Fayette	2022-2024	Awaiting Initiation by Agency			
Lease - Purchase Voice Infrastructure	Fayette	2022-2024	Awaiting Initiation by Agency			
Purchase/Construct CO2 Capture Process Plant Approved pursuant to KRS 45.763 9/16/2022 - FCR 4	Fayette	2022-2024	Planning			
Renew/Modernize Facilities Sub-projects: Renew/Modernize Facilities (Sub-project: 18th Floor Patterson) - 12/10/2019 - FCR 11 Renew/Modernize Facilities (Sub-project: Campus Enabling Infrastructure Phase I) - 12/10/2019 - FCR 11 - Complete/Closed Out Renew/Modernize Facilities (Sub-project: Campus Enabling Infrastructure Phase II) - 12/10/2019 - FCR 11 Renew/Modernize Facilities (Sub-project: Chemistry/Physics Phase II) - 2/22/2019 - FCR 2; 12/10/2019 - FCR 11 Renew/Modernize Facilities (Sub-project: Modernize Frazee Hall) - 12/10/2019 - FCR 11 Renew/Modernize Facilities (Sub-project: Reynolds Building #1 Design) - 2/22/2019 - FCR 3; 12/10/2019 - FCR 11 Renew/Modernize Facilities (Sub-project: Reynolds Building #1 Phase I) - 6/17/2022 - FCR 25 Renew/Modernize Facilities (Sub-project: Scovell Hall Design) - 6/21/2019 - FCR 19; 12/10/2019 - FCR 11 - Cancelled Renew/Modernize Facilities (Sub-project: Study of Quad) - 12/10/2019 - FCR 11 - Complete/Closed Out Renew/Modernize Facilities (Sub-project: White Hall Renovation Phase I) - 12/10/2019 - FCR 11	Fayette	2018-2020	Multiple Subprojects			
Renew/Modernize Facilities (Sub-project: 18th Floor Patterson)	Fayette	2018-2020	Complete/Not Closed Out	100	06/16/21	06/16/21

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Renew/Modernize Facilities (Sub-project: Campus Enabling Infrastructure Phase II)	Fayette	2018-2020	In Construction	7	07/01/23	
Renew/Modernize Facilities (Sub-project: Chemistry/Physics Phase II)	Fayette	2018-2020	Complete/In Warranty	100	07/27/22	07/27/22
Renew/Modernize Facilities (Sub-project: Modernize Frazee Hall) CM-at-Risk project delivery method reported to CPBOC on 9/16/2020	Fayette	2018-2020	In Construction	31	05/03/23	
Renew/Modernize Facilities (Sub-project: Reynolds Building #1 Design)	Fayette	2018-2020	In Construction	6	01/17/24	
Renew/Modernize Facilities (Sub-project: Reynolds Building #1 Phase I)	Fayette	2018-2020	Awaiting Initiation by Agency			
Renew/Modernize Facilities (Sub-project: White Hall Renovation Phase I)	Fayette	2018-2020	Complete/In Warranty	100	02/14/22	02/14/22
Renovate Carnahan House	Fayette	2022-2024	Awaiting Initiation by Agency			
Renovate Space for a Testing Center	Fayette	2022-2024	Awaiting Initiation by Agency			
Renovate/Expand University Student Center	Fayette	2014-2016	Complete/Not Closed Out	100	06/18/18	06/18/18
Renovate/Improve Nursing Units - UK HealthCare Pav H 3rd Floor Behavioral Health - 9/11/2020 - FCR 7	Fayette	2020-2022	In Construction	44	10/16/22	
Renovate/Improve Nursing Units - UK HealthCare	Fayette	2022-2024	Awaiting Initiation by Agency			
Renovate/Upgrade HealthCare Facilities See Renovate/Upgrade UK HealthCare Facilities (combined auth)	Fayette	2014-2016	Combined Authorities			
Renovate/Upgrade HealthCare Facilities (Agency Bonds) See Renovate/Upgrade UK HealthCare Facilities (combined auth)	Fayette	2016-2018	Combined Authorities			
Renovate/Upgrade HealthCare Facilities (Restricted Funds) Sub-projects: Renovate/Upgrade HealthCare Facilities (Restricted Funds) (Sub-project: Simulation Center) - 12/13/2016 - FCR 12 - Complete/Closed Out Renovate/Upgrade HealthCare Facilities (Restricted Funds) (Sub-project: University Inn) - 12/13/2016 - FCR 11 - Complete/Closed Out	Fayette	2016-2018	Multiple Subprojects			
Renovate/Upgrade HealthCare Facilities 2 See Renovate/Upgrade UK HealthCare Facilities (combined auth)	Fayette	2014-2016	Combined Authorities			

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Renovate/Upgrade UK HealthCare Facilities (combined auth)	Fayette	2014-2016	Multiple Subprojects			
<p>Authorizations for the following projects have been combined and transmitted March 2015 and reported June 20, 2017 to CPBOC: Renovate/Upgrade HealthCare Facilities (2014-2016) - \$150 million in agency bonds Renovate/Upgrade HealthCare Facilities 2 (2014-2016) - \$130 million in restricted funds Renovate/Upgrade HealthCare Facilities (2016-2018) - \$150 million in agency bonds</p> <p>Sub-projects: Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1F: 9th & 10th Floor Fit-Out and Elevators) - Complete/Closed Out Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1F: Chiller) - Complete/Closed Out Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1F: Kitchen/Cafeteria) - Complete/Closed Out Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1G: Blood Bank) - Complete/Closed Out Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1G: MRI, Hyperbaric & Radiology) - Complete/Closed Out Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1F: Children's Hospital NICU) Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1G: 11th Floor) - Complete/Closed Out Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1G: Pavilion A - Surgery) - Complete/Closed Out Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1I: Endoscopy Renovation) - 6/24/2016 - FCR 15 - Cancelled Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1I: Fit-up 5th & 12th Floors) - 2/19/2016 - FCR 13; 6/24/2016 - FCR 15; 12/12/2017 - FCR 12; 6/19/2020 - FCR 10 Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1I: Interventional Pav A) - 6/24/2016 - FCR 15 Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1I: Obstetrical Pav HA & H) - 6/24/2016 - FCR 15; 12/12/2017 - FCR 12 - Cancelled Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1I: Phase 2 Radiology Pav A) - 6/24/2016 - FCR 15 - Cancelled</p>						
Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1F: Children's Hospital NICU)	Fayette	2014-2016	Complete/Not Closed Out	100	03/16/18	03/16/18
Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1I: Fit-up 12th Floor)	Fayette	2014-2016	In Construction	15	12/15/23	
Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1I: Fit-up 5th Floor)	Fayette	2014-2016	Complete/In Warranty	100	04/20/22	04/20/22
Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1I: Interventional Pav A)	Fayette	2014-2016	Complete/Not Closed Out	100	01/21/21	01/21/21
Repair Critical Infrastructure/Buildings Systems	Fayette	2022-2024	Awaiting Initiation by Agency			
Repair/Replace Campus Cable Infrastructure	Fayette	2022-2024	Awaiting Initiation by Agency			
Repair/Upgrade/Expand Central Plant Cooling Plant #1 Tower Replacement - 6/21/2019 - FCR 18	Fayette	2018-2020	In Construction	90	10/03/22	

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Repair/Upgrade/Expand Central Plants Sub-project: Repair/Upgrade/Expand Central Plants (Sub-project: Deaerators) - 2/19/2021 - FCR 5 Repair/Upgrade/Expand Central Plants (Sub-project: Expand Central Plant - Design) - 9/10/2021 - FCR 6	Fayette	2020-2022	Multiple Subprojects			
Repair/Upgrade/Expand Central Plants (Sub-project: Deaerators)	Fayette	2020-2022	In Construction	5	11/21/22	
Repair/Upgrade/Expand Central Plants (Sub-project: Expand Central Plant - Design)	Fayette	2020-2022	Planning			
Replace Basketball Playing Floors	Fayette	2022-2024	Awaiting Initiation by Agency			
Replace UK HealthCare IT Systems 1	Fayette	2022-2024	Awaiting Initiation by Agency			
Replace UKHC IT Systems 1 Single Enterprise Electronic Health Record - 4/30/2019 - FCR 10	Fayette	2018-2020	In Construction	80	06/30/23	
* Research Building 2 Initial Authorization - House Bill 298 (2015 Regular Session) Sub-projects: Research Building 2 (Sub-project: Phase I - Construct Research Building) - 3/16/2015 - FCR 14 Research Building 2 (Sub-project: Phase III - Fit-Up Two Wet Labs) - 12/10/2019 - FCR 10 Research Building 2 (Sub-project: Final Phase)	Fayette	Other	Multiple Subprojects			
Research Building 2 (Sub-project: Final Phase)	Fayette	Other	Complete/In Warranty	100	06/08/22	06/08/22
Research Building 2 (Sub-project: Phase I - Construct Research Building)	Fayette	Other	Complete/Closed Out	100	09/21/18	09/21/18
Research Building 2 (Sub-project: Phase III - Fit-Up Two Wet Labs)	Fayette	Other	Complete/In Warranty	100	09/29/21	09/29/21
* Research Building 2 (University of Kentucky HealthCare Disparities Initiative/Phase II) 10/19/2018 - PR 4	Fayette	2018-2020	Complete/Not Closed Out	100	11/09/20	11/09/20
Upgrade/Renovate/Expand Research Labs Multiple Sub-projects: Upgrade/Renovate/Expand Research Labs (Sub-project: Biosafety Lab Renovation - HSRB) - 9/10/2021 - FCR 7 (prior authorization); 6/17/2022 - FCR 22 Upgrade/Renovate/Expand Research Labs (Sub-project: EduceLab) - 9/16/2022 - FCR 9	Fayette	2022-2024	Multiple Subprojects			
Upgrade/Renovate/Expand Research Labs (Sub-project: Biosafety Lab Renovation - HSRB)	Fayette	2022-2024	Design/Phase C			

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Upgrade/Renovate/Expand Research Labs (Sub-project: EduceLab)	Fayette	2022-2024	Design/Phase B			

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<u>Cabinet/Agency/Project Title</u>	<u>Scheduled Closeout</u>	<u>Account Balance</u>	<u>Explanation - Why has the account not been closed?</u>
Postsecondary Education Cabinet/University of Kentucky			
Construct/Improve Greek Housing (Sub-project: Alpha Delta Pi)	09/09/22	\$10,000.00	warranty issues
Decommission Facilities	07/30/22	\$50,000.00	warranty issue
Expand Student Center (Dining)	08/30/22	\$50,000.00	warranty issues
* Expand/Renovate/Upgrade Law Building	09/08/20	\$439,000.00	multiply warranty dates
Improve Campus Parking and Transportation System (Sub-project: Parking Structure #5)	11/09/21	\$1,000.00	warranty issue
Improve Clinical/Ambulatory Services (Sub-project: Radiation Medicine Accelerator/Brachytherapy)	12/06/20	\$245,500.00	warranty issues
Improve Good Samaritan Hospital Facilities (Sub-project: Third Floor Renovation)	05/16/22	\$50,000.00	warranty issues
Renew/Modernize Facilities (Sub-project: 18th Floor Patterson)	07/16/22	\$8,000.00	warranty issues
Renovate/Expand University Student Center	07/18/19	\$201,250.00	multiply warranty dates
Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1F: Children's Hospital NICU)	04/16/19	\$1.00	warranty issue
Renovate/Upgrade UK HealthCare Facilities (combined auth) (Sub-project 1I: Interventional Pav A)	02/21/22	\$800,000.00	warranty issue
* Research Building 2 (University of Kentucky HealthCare Disparities Initiative/Phase II)	12/09/21	\$100,000.00	multiply warranty dates

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Postsecondary Education Cabinet/University of Louisville						
Acquire Dormitories	Jefferson	2022-2024	Awaiting Initiation by Agency			
* Asset Preservation Pool - 2022-2024 CM-at-Risk project delivery method reported to CPBOC on 5/19/2022	Jefferson	2022-2024	In Construction	5	12/31/25	
Athletics Enhancements in New Dormitory	Jefferson	2020-2022	In Construction	95	12/31/22	
Athletics Enhancements in New Dormitory	Jefferson	2022-2024	Awaiting Initiation by Agency			
Basketball/Lacrosse Practice Facility Expansion Design-Build project delivery method reported to CPBOC on 7/21/2022 Kueber Center Renovation	Jefferson	2022-2024	In Construction	15	02/01/23	
Belknap 3rd Street Improvements	Jefferson	2022-2024	Design/Phase C			
Belknap Brandeis Corridor Improvements	Jefferson	2022-2024	Design/Phase C			
Belknap Campus New Residence Halls (combined auth) \$90 million of authorized agency bonds was reallocated to Demolish and Construct Residence Halls	Jefferson	2018-2020	Other			
<p>Authorizations for the following projects have been combined and reported to CPBOC, with associated scope reduction from \$103.875 million to \$90 million, on 10/15/2019:</p> <p>Demolish and Replace Miller Resident Hall (2018-2020) - \$70.6 million in agency bonds</p> <p>Renovate and Expand Threlkeld Resident Hall (2018-2020) - \$33.275 million in agency bonds</p> <p>Comments: Project consist of construction of two dorms on the Belknap Campus. Dorm 1 is complete. Dorm 2 is 99% complete.</p>						
Belknap Century Corridor Improvements	Jefferson	2022-2024	Awaiting Initiation by Agency			
Belknap Stormwater Improvements	Jefferson	2022-2024	Awaiting Initiation by Agency			
Capital Renewal for Athletic Venues	Jefferson	2022-2024	Awaiting Initiation by Agency			
Capital Renewal, Replacement, and Upgrade Pool	Jefferson	2022-2024	Awaiting Initiation by Agency			
Cardinal Stadium Club Upgrades See Renovate Cardinal Stadium Club (combined auth)	Jefferson	2020-2022	Combined Authorities			
Cardinal Stadium Club Upgrades	Jefferson	2022-2024	Awaiting Initiation by Agency			
College of Education HVAC Upgrade	Jefferson	2020-2022	In Construction	60	03/30/23	
Construct Administrative Office Building	Jefferson	2022-2024	Awaiting Initiation by Agency			
Construct Artificial Turf Field for Intramural	Jefferson	2022-2024	Awaiting Initiation by Agency			
Construct Athletic Grounds Building	Jefferson	2022-2024	Awaiting Initiation by Agency			

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Construct Athletics Office Building	Jefferson	2022-2024	Awaiting Initiation by Agency			
Construct Athletics Village	Jefferson	2022-2024	Awaiting Initiation by Agency			
Construct Belknap Campus Parking Garage	Jefferson	2022-2024	Awaiting Initiation by Agency			
* Construct Belknap Classroom/Academic Building	Jefferson	2014-2016	Complete/In Warranty	100	09/15/18	09/30/22
Construct College of Business Building	Jefferson	2022-2024	Awaiting Initiation by Agency			
Construct Football Practice Field Lighting	Jefferson	2022-2024	Awaiting Initiation by Agency			
Construct HSC Parking Structure II	Jefferson	2004-2006	Complete/Not Closed Out	100	11/30/09	12/15/09
Construct Indoor Facility	Jefferson	2022-2024	Awaiting Initiation by Agency			
Construct Medical Office/Lab Building	Jefferson	2022-2024	Awaiting Initiation by Agency			
* Construct Multidisciplinary Engineering Building 1 - Speed School Addition	Jefferson	2022-2024	Planning			
Construct Natatorium	Jefferson	2022-2024	Awaiting Initiation by Agency			
Construct Practice Bubble	Jefferson	2022-2024	Awaiting Initiation by Agency			
Construct ShelbyHurst Academic Building and Conference Center	Jefferson	2022-2024	Awaiting Initiation by Agency			
Construct/Upgrade Utility Infrastructure	Jefferson	2022-2024	Planning			
Demolish and Construct Golf Maintenance/Chemical Building	Jefferson	2022-2024	Awaiting Initiation by Agency			
Demolish and Construct Residence Halls Reallocation from Demolish and Replace Miller Residence Hall (\$56.725 million) and Renovate and Expand Threlkeld Residence Hall projects (\$33.275 million)	Jefferson	2020-2022	Multiple Subprojects			
Sub-projects: Demolish and Construct Residence Halls (Sub-project: Phase 1) Demolish and Construct Residence Halls (Sub-project: Phase 2)						
Demolish and Construct Residence Halls (Sub-project: Phase 1) Initiated under 2018-2020 Belknap Campus New Residence Halls (combined auth) authorization	Jefferson	2020-2022	Complete/In Warranty	100	09/01/21	09/30/22
Demolish and Construct Residence Halls (Sub-project: Phase 2) Initiated under 2018-2020 Belknap Campus New Residence Halls (combined auth) authorization	Jefferson	2020-2022	In Construction	99	12/31/22	

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Demolish and Replace Miller Resident Hall See Belknap Campus New Residence Halls (combined auth) \$56.725 million of the \$70.6 million in agency bonds authorized was reallocated to Demolish and Construct Residence Halls	Jefferson	2018-2020	Combined Authorities			
Expand and Renovate Wright Natatorium	Jefferson	2022-2024	Awaiting Initiation by Agency			
Expand College of Business	Jefferson	2022-2024	Awaiting Initiation by Agency			
Expand Marshall Center Complex	Jefferson	2022-2024	Awaiting Initiation by Agency			
Expand Patterson Stadium/Construct Indoor Facility	Jefferson	2022-2024	Design/Phase A			
Expand Ulmer Softball Stadium/Construct Indoor Facility	Jefferson	2022-2024	Awaiting Initiation by Agency			
Exterior Envelope Replacement School of Medicine Building 55A	Jefferson	2022-2024	Awaiting Initiation by Agency			
Housing Facilities - Lease CPBOC approved master lease on 11/19/2020 (Denny Crum Hall)	Jefferson	2020-2022	In Construction	95	12/31/22	
Improve Housing Facilities Pool	Jefferson	2022-2024	Awaiting Initiation by Agency			
J.B. Speed Building Renovation - Phase 1	Jefferson	CPBOC-11/01/20	Complete/In Warranty	100	12/31/21	09/01/22
Lease Housing Facilities	Jefferson	2022-2024	Awaiting Initiation by Agency			
Medical Tower - 55A Vivarium	Jefferson	CPBOC-11/01/20	In Construction	15	12/30/24	
Public/Private Partnership Louisville Automation and Robotics Research Institute Building - Speed Sc Approved pursuant to KRS 45.763	Jefferson	2022-2024	Awaiting Initiation by Agency			
Public/Private Partnership Resident Hall Approved pursuant to KRS 45.763	Jefferson	2022-2024	Awaiting Initiation by Agency			
Purchase Computer Processing System and Storage	Jefferson	2022-2024	Awaiting Initiation by Agency			
Purchase Computing for Research Infrastructure	Jefferson	2022-2024	Awaiting Initiation by Agency			
Purchase Content Management System	Jefferson	2022-2024	Awarding Contract			
Purchase Fiber Infrastructure	Jefferson	2022-2024	Awaiting Initiation by Agency			
Purchase Housing Facilities	Jefferson	2022-2024	Awaiting Initiation by Agency			
Purchase Identity Management	Jefferson	2022-2024	Awaiting Initiation by Agency			
Purchase Identity Management	Jefferson	2020-2022	Complete/In Warranty	100	12/31/23	05/30/22

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Purchase Land	Jefferson	2022-2024	Awaiting Initiation by Agency			
Purchase Networking System	Jefferson	2022-2024	Awaiting Initiation by Agency			
Purchase Networking System	Jefferson	2018-2020	Complete/In Warranty	100	01/30/21	08/31/22
Purchase Next Generation/ERP Support System	Jefferson	2020-2022	In Construction	75	12/31/23	
Purchase Research Computing Infrastructure	Jefferson	2018-2020	In Construction	50	12/31/22	
Regional Biocontainment Laboratory Pressurization Upgrade	Jefferson	2020-2022	In Construction	45	08/30/25	
Renovate and Expand Threlkeld Resident Hall See Belknap Campus New Residence Halls (combined auth) \$33.275 of agency bonds authorized was reallocated to Demolish and Construct Residence Halls	Jefferson	2018-2020	Combined Authorities			
Renovate Bass Rudd Tennis Center	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Belknap Physical Plant Building	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Cardinal Football Stadium See Renovate Cardinal Stadium Club (combined auth)	Jefferson	2020-2022	Combined Authorities			
Renovate Cardinal Football Stadium	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Cardinal Park	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Cardinal Stadium Club (combined auth) Authorizations for the following projects have been combined and reported 11/18/2021 Renovate Cardinal Football Stadium - \$10 million in other funds (cash) Cardinal Stadium Club Upgrades -\$2 million in other funds (cash) Design-build project delivery method reported to CPBOC on 11/18/2021	Jefferson	2020-2022	In Construction	95	03/31/23	
Renovate Chemistry Fume Hoods, Phase II	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Chemistry Teaching Labs/Auditorium	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate College of Business Classrooms	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Dental School Administrative Space	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Flexner Way Mall	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Fresh Tissue Lab and Morgue	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Garvin Brown Boathouse	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Golf Club Shelby County	Shelby	2022-2024	Awaiting Initiation by Agency			

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Renovate Gottschalk Hall	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Gross Anatomy Lab	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Health Sciences Center Instructional and Student Services Space	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Humanities Building	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Kentucky Lions Eye Center	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Law School	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Life Sciences Building Vivarium	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Lynn Soccer Stadium	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Marshall Center	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Music School Building	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Natural Sciences Building	Jefferson	2022-2024	Design/Phase A			
Renovate Office Building	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Parking Structures	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Parking Structures Comments: Delay in project because of materials and labor.	Jefferson	2020-2022	In Construction	75	06/30/22	
Renovate Patterson Baseball Stadium	Jefferson	2022-2024	Planning			
Renovate School of Medicine Building 55A	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate School of Nursing Building Sub-project: Renovate School of Nursing Building (Sub-project: Phase I) Renovate School of Nursing Building (Sub-project: Phase II) Comments: Project being completed in phases.	Jefferson	2020-2022	Other			
Renovate School of Nursing Building	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate School of Nursing Building (Sub-project: Phase I)	Jefferson	2020-2022	Complete/Closed Out	100	12/31/21	09/01/21
Renovate School of Nursing Building (Sub-project: Phase II)	Jefferson	2020-2022	In Construction	35	12/31/22	
Renovate Speed School Research Building	Jefferson	2022-2024	Awaiting Initiation by Agency			

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Renovate Thornton's Academic Center	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Trager Football Practice Facility	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Unitas Residence Hall	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate University Tower Apartments	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovate Vivarium Facilities	Jefferson	2022-2024	Awaiting Initiation by Agency			
Renovation and Adaptation Projects for Various Buildings	Jefferson	2020-2022	In Construction	40	12/31/22	
Renovation and Adaption Projects for Various Buildings	Jefferson	2022-2024	Awaiting Initiation by Agency			
Replace Artificial Turf Field III	Jefferson	2022-2024	Awaiting Initiation by Agency			
Replace Artificial Turf Field III	Jefferson	2020-2022	In Construction	50	06/30/23	
Replace Artificial Turf Field IV	Jefferson	2022-2024	Awaiting Initiation by Agency			
Replace Cardinal Stadium Seats	Jefferson	2022-2024	Awaiting Initiation by Agency			
Replace Electronic Video Boards	Jefferson	2022-2024	Awaiting Initiation by Agency			
Replace Electronic Video Boards	Jefferson	2020-2022	Complete/In Warranty	100	06/30/22	06/30/22
Replace HVAC Various Buildings	Jefferson	2020-2022	In Construction	40	06/30/22	
Comments: Projects are being implemented in phases. Two buildings have been updated at this point in time. Several more are in the planning stages.						
Replace HVAC Various Buildings	Jefferson	2022-2024	Awaiting Initiation by Agency			
Replace Physical Access Control System	Jefferson	2022-2024	Awaiting Initiation by Agency			
Replace Seats in Athletic Venues	Jefferson	2022-2024	Awaiting Initiation by Agency			
Replace Seats in Athletic Venues	Jefferson	2020-2022	Complete/In Warranty	100	06/30/22	06/30/22
Resurface & Repair Parking Lot	Jefferson	2020-2022	Complete/In Warranty	100	12/31/21	02/01/22
Resurface and Repair Parking Lots	Jefferson	2022-2024	Awaiting Initiation by Agency			
Steam Plant Modernization Approved pursuant to KRS 45.763	Jefferson	2022-2024	Bidding			
Upgrade and Expand WiFi and Cellular Services at Cardinal Stadium	Jefferson	CPBOC-12/01/19	In Construction	90	12/31/22	
Upgrade College of Education HVAC	Jefferson	2022-2024	Awaiting Initiation by Agency			

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Upgrade Dental School HVAC	Jefferson	2022-2024	Awaiting Initiation by Agency			
Upgrade Law School HVAC	Jefferson	2022-2024	Planning			
Upgrade STEM Instruction Buildings	Jefferson	2022-2024	Planning			

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<u>Cabinet/Agency/Project Title</u>	<u>Scheduled Closeout</u>	<u>Account Balance</u>	<u>Explanation - Why has the account not been closed?</u>
Postsecondary Education Cabinet/University of Louisville			
Construct HSC Parking Structure II	01/15/11	\$447,042.82	Space on the 1st floor still needs to be built-out. Study conducted to determine options for build-out. Exploring options of leasing to third party vendor to build out for shop/food venue.

* indicates projects involving General Fund supported bonds or "state" cash (General Fund, Investment Income, Capital Construction Surplus, Contingency Fund, Emergency Fund, or Statewide Deferred Maintenance Fund).

QUARTERLY CAPITAL PROJECTS STATUS REPORT

Reporting Agency: Western Kentucky University

Report Quarter: 2022-4 (October)

Print Date: 10/20/2022

<u>Cabinet/Agency/Project Title</u>	<u>County</u>	<u>Initial Auth</u>	<u>Status</u>	<u>Constr % Compl</u>	<u>Contract Compl</u>	<u>Actual Subst</u>
Postsecondary Education Cabinet/Western Kentucky University						
Add Club Seating at Diddle Arena	Warren	2022-2024	Awaiting Initiation by Agency			
* Asset Preservation Pool - 2022-2024	Warren	2022-2024	Multiple Subprojects			
Sub-projects:						
Asset Preservation Pool - 2022-2024 (Sub-project: Building Automation System Upgrades)						
Asset Preservation Pool - 2022-2024 (Sub-project: Exterior Lighting)						
Asset Preservation Pool - 2022-2024 (Sub-project: Fiber Optic Cabling System)						
Asset Preservation Pool - 2022-2024 (Sub-project: FY 23 Steam Distribution System)						
Asset Preservation Pool - 2022-2024 (Sub-project: Henry Hardin Cherry Hall Renovation)						
Asset Preservation Pool - 2022-2024 (Sub-project: High Voltage Distribution System)						
Asset Preservation Pool - 2022-2024 (Sub-project: Sanitary Sewer System)						
Asset Preservation Pool - 2022-2024 (Sub-project: Storm Water System)						
Asset Preservation Pool - 2022-2024 (Sub-project: Building Automation System Upgrades)	Warren	2020-2022	Planning			
Asset Preservation Pool - 2022-2024 (Sub-project: Exterior Lighting)	Warren	2022-2024	Awaiting Initiation by Agency			
Asset Preservation Pool - 2022-2024 (Sub-project: Fiber Optic Cabling System)	Warren	2022-2024	Awaiting Initiation by Agency			
Asset Preservation Pool - 2022-2024 (Sub-project: FY 23 Steam Distribution System)	Warren	2022-2024	Planning			
Asset Preservation Pool - 2022-2024 (Sub-project: Henry Hardin Cherry Hall Renovation)	Warren	2022-2024	A/E Selection			
Asset Preservation Pool - 2022-2024 (Sub-project: High Voltage Distribution System)	Warren	2022-2024	Planning			
Asset Preservation Pool - 2022-2024 (Sub-project: Sanitary Sewer System)	Warren	2022-2024	Awaiting Initiation by Agency			
Asset Preservation Pool - 2022-2024 (Sub-project: Storm Water System)	Warren	2022-2024	Awaiting Initiation by Agency			
Construct Baseball Grandstand	Warren	2022-2024	Awaiting Initiation by Agency			
Construct Football Pressbox	Warren	2022-2024	Awaiting Initiation by Agency			
Construct, Renovate and Improve Athletic Facilities authorization will be used instead						
Construct Indoor Athletic Training Facility	Warren	2022-2024	Awaiting Initiation by Agency			
Construct, Renovate and Improve Athletic Facilities authorization will be used instead						

QUARTERLY CAPITAL PROJECTS STATUS REPORT

Reporting Agency: Western Kentucky University

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<u>Cabinet/Agency/Project Title</u>	<u>County</u>	<u>Initial Auth</u>	<u>Status</u>	<u>Constr % Compl</u>	<u>Contract Compl</u>	<u>Actual Subst</u>
* Construct New Gordon Ford College of Business	Warren	2022-2024	Design/Phase A			
Construct Parking Structure IV	Warren	2022-2024	Awaiting Initiation by Agency			
Construct South Plaza	Warren	2022-2024	Awaiting Initiation by Agency			
Construct, Renovate and Improve Athletic Facilities	Warren	2020-2022	Multiple Subprojects			
Sub-projects:						
Construct, Renovate and Improve Athletic Facilities (Sub-project: Hilltopper Fieldhouse)						
Construct, Renovate and Improve Athletic Facilities (Sub-project: Houchens-Smith Stadium Press Box)						
Use of \$5.5 million in private funds for Improve Softball and Soccer Complex reported to CPBOC on 2/22/2022 (now under separate authorization)						
Construct, Renovate and Improve Athletic Facilities (Sub-project: Hilltopper Fieldhouse)	Warren	2022-2024	Design/Phase A			
Construct, Renovate and Improve Athletic Facilities (Sub-project: Houchens-Smith Stadium Press Box)	Warren	2022-2024	Design/Phase A			
Demolish Foundation Building/Improve Site	Warren	2020-2022	In Construction	0	05/03/23	
Demolish Garrett Conference Center/Improve Site	Warren	2020-2022	In Construction	45	05/03/23	
Demolish Tate Page Hall/Improve Site	Warren	2020-2022	Complete/In Warranty	100	12/17/21	12/17/21
Expand Track and Field Facilities	Warren	2022-2024	Awaiting Initiation by Agency			
Improve Softball and Soccer Complex	Warren	2022-2024	In Construction	5	06/01/23	
Initiated under Construct, Renovate and Improve Athletic Facilities (reported to CPBOC on 2/22/2022)						
Purchase Property for Campus Expansion	Warren	2022-2024	Awaiting Initiation by Agency			
Purchase Property/Parking and Street Improvements	Warren	2022-2024	Awaiting Initiation by Agency			
Remove and Replace Student Housing at Farm	Warren	2022-2024	Awaiting Initiation by Agency			
Renovate and Expand Clinical Education Complex	Warren	2022-2024	Awaiting Initiation by Agency			
Renovate and Expand Innovation Campus (Center for Research and Development)	Warren	2022-2024	Awaiting Initiation by Agency			
Renovate Center for Research and Development Phase I	Warren	2022-2024	Awaiting Initiation by Agency			
Renovate Helm/Cravens Library	Warren	2018-2020	Multiple Subprojects			
Sub-projects:						
Renovate Helm/Cravens Library (Sub-project: Construct WKU Commons @ Helm Library)						
Renovate Helm/Cravens Library (Sub-project: Partial Demolition of Helm Library) - Complete/Closed out						

QUARTERLY CAPITAL PROJECTS STATUS REPORT

Reporting Agency: Western Kentucky University

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<u>Cabinet/Agency/Project Title</u>	<u>County</u>	<u>Initial Auth</u>	<u>Status</u>	<u>Constr % Compl</u>	<u>Contract Compl</u>	<u>Actual Subst</u>
Renovate Helm/Cravens Library (Sub-project: Construct WKU Commons @ Helm Library)	Warren	2018-2020	Complete/In Warranty	95	03/31/22	03/31/22
Renovate Police Department	Warren	2020-2022	Complete/Closed Out	100	05/31/21	06/30/21
Renovate South Campus	Warren	2022-2024	Awaiting Initiation by Agency			
Renovate State/Normal Street Properties	Warren	2022-2024	Awaiting Initiation by Agency			
Replace Underground Infrastructure Phased Steam Line Replacement	Warren	2020-2022	In Construction	95	12/17/22	
Comments: WKU only started the a phased Steam Line Replacement project in May of 2022; \$2,000,000						

* indicates projects involving General Fund supported bonds or "state" cash (General Fund, Investment Income, Capital Construction Surplus, Contingency Fund, Emergency Fund, or Statewide Deferred Maintenance Fund).

QUARTERLY CAPITAL PROJECTS STATUS REPORT

Reporting Agency: Commonwealth Office of Technology

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<u>Cabinet/Agency/Project Title</u>	<u>County</u>	<u>Initial Auth</u>	<u>Status</u>	<u>Constr % Compl</u>	<u>Contract Compl</u>	<u>Actual Subst</u>
Department of Education						
* Education Finance Application Budgeted Amount - \$2,500,000 Comments: Expenditure: 0 % Complete: 0	Multi	2022-2024	Initiation Phase			
Education and Labor Cabinet/General Administration						
Claims Payment Management System Budgeted Amount - \$2,460,000 Comments: Expenditure: \$738,080.25 Project % Completed: 15%	Multi	2018-2020	Execution & Control Phase			
Labor Market Data Technologies for Job Matching Budgeted Amount - \$6,636,000 Comments: Expenditure: 0 Project % Completed: 0	Multi	2022-2024	Initiation Phase			
Education and Labor Cabinet/KY Educational Television						
KET Next Gen Conversion Budgeted Amount - \$11,500,000 Comments: Expenditure: \$916,812.65 Project % Completed: 0	Multi	CPBOC-9/01/21	Initiation Phase			
Education and Labor Cabinet/Workforce Investment						
Case Management System Budgeted Amount - \$4,620,000 Comments: Expenditure: 0 Project % Completed: 5%	Multi	CPBOC-7/01/21	Initiation Phase			
Replace Unemployment Insurance System Budgeted Amount - \$47,500,000 \$10 million reallocated from \$20 million bond funded Legacy Retirement System authorization Comments: Expenditure: \$339,558.71 Project % Completed: 38%	Multi	2018-2020	Planning Phase			
Unemployment Insurance System Maintenance and Support Upgrades	Multi	CPBOC-2/01/22	Initiation Phase			

QUARTERLY CAPITAL PROJECTS STATUS REPORT

Reporting Agency: Commonwealth Office of Technology

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<u>Cabinet/Agency/Project Title</u>	<u>County</u>	<u>Initial Auth</u>	<u>Status</u>	<u>Constr % Compl</u>	<u>Contract Compl</u>	<u>Actual Subst</u>
Budgeted Amount - \$2,000,000 Comments: Expenditure: \$1,191,304.69 Project % Completed: 0%						
Finance and Administration Cabinet/Commonwealth Office of Technology						
Hybrid - Cloud Service Architecture Budgeted Amount - \$3,000,000 Comments: Expenditure: 0 Project % Completed: 0	Multi	2022-2024	Initiation Phase			
* Kentucky Business OneStop (KyBOS) Phase IV Budgeted Amount - \$4,128,000 Comments: Expenditure: 0 Project % Completed: 0	Multi	2022-2024	Initiation Phase			
* Legacy System Retirement Budgeted Amount - \$10,000,000 No further action planned on project during this fiscal year. Initially \$20 million - \$10 million of authorization reallocated to Replace Unemployment Insurance System Comments: Expenditure: 0 Project % Completed: 38%	Multi	2018-2020	Execution & Control Phase			
Finance and Administration Cabinet/Controller						
* eMARS Upgrade and Systems Enhancements Budgeted Amount - \$14,000,000 Comments: Expenditure: \$1,625,715.00 Project % Completed: 0	Multi	2022-2024	Planning Phase			
Finance and Administration Cabinet/General Administration						
* Business One-Stop Portal - Phase III Budgeted Amount - \$12,000,000 Comments: Expenditure: \$5,462,435.22 Project % Completed: 66%	Multi	2016-2018	Execution & Control Phase			
Finance and Administration Cabinet/Revenue						
* Integrated Tax System Budgeted Amount - \$92,500,000	Multi	2018-2020	Execution & Control Phase			

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<u>Cabinet/Agency/Project Title</u>	<u>County</u>	<u>Initial Auth</u>	<u>Status</u>	<u>Constr % Compl</u>	<u>Contract Compl</u>	<u>Actual Subst</u>
<p>Comments: Expenditure: \$22,046,378.17 Project % Completed: 33%</p>						
General Government Cabinet/Agriculture						
<p>AGR Inspection and Licensing Project Budgeted Amount - \$2,118,000 Initiated under prior 2020-2022 authorization Comments: Expenditure: \$835,111.00 Project % Completed: 42%</p>	Multi	2022-2024	Execution & Control Phase			
General Government Cabinet/Attorney General						
<p>* Upgrade Technology Budgeted Amount - \$2,000,000 Comments: Expenditure: 0 Project % Completed: 18%</p>	Multi	2020-2022	Planning Phase			
General Government Cabinet/KY Communications Network Authority						
<p>* Next Generation Kentucky Information Highway Budgeted Amount - \$454,462,400 Comments: Expenditure: \$406,424,292.00 Project % Completed: 99%</p>	Multi	2014-2016	Execution & Control Phase			
General Government Cabinet/Registry of Election Finance						
<p>* System Modernization Budgeted Amount - \$1,836,000 Comments: Expenditure: \$323,604.56 Project % Completed: 2%</p>	Multi	2016-2018	Execution & Control Phase			
General Government Cabinet/Secretary of State						
<p>Enhanced Statewide Election Administration and Online Ballot Delivery System Budgeted Amount - \$1,500,000 Canceled - funds in process of being returned to feds Comments: Expenditure: \$666,423.59 Project % Completed: 25%</p>	Multi	CPBOC-10/01/13	Other			

QUARTERLY CAPITAL PROJECTS STATUS REPORT

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<u>Cabinet/Agency/Project Title</u>	<u>County</u>	<u>Initial Auth</u>	<u>Status</u>	<u>Constr % Compl</u>	<u>Contract Compl</u>	<u>Actual Subst</u>
Health and Family Services Cabinet/Community Based Services						
The Workers Information System (TWIST) Case File Digitization Budgeted Amount - \$10,000,000 Comments: Expenditure: \$126.00 Project % Completed: 7%	Multi	2022-2024	Execution & Control Phase			
* The Workers Information System (TWIST) Modernization Budgeted Amount - \$18,993,000 Comments: Expenditure: 0 Project % Completed: 76%	Multi	2022-2024	Execution & Control Phase			
Health and Family Services Cabinet/Department for Income Support (CHFS)						
* Kentucky Child Support Enforcement System (KASES III) Budgeted Amount - \$33,000,000 Comments: Expenditure: 0 Project % Completed: 0%	Multi	2022-2024	Execution & Control Phase			
Health and Family Services Cabinet/General Administration						
KASPER Budgeted Amount - \$2,000,000 Comments: Expenditure: \$1,165,290.26 Project % Completed: 58%	Multi	2020-2022	Execution & Control Phase			
Health and Family Services Cabinet/Public Health						
Budget, Accounting and Reporting System Budgeted Amount - \$4,220,000 Comments: Expenditure: \$436,242.89 Project % Completed: 61%	Multi	2018-2020	Initiation Phase			
Scan and Image Historical Records Budgeted Amount - \$5,750,000 Comments: Expenditure: \$2,102,753.54 Project % Completed: 71%	Multi	2018-2020	Execution & Control Phase			

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<u>Cabinet/Agency/Project Title</u>	<u>County</u>	<u>Initial Auth</u>	<u>Status</u>	<u>Constr % Compl</u>	<u>Contract Compl</u>	<u>Actual Subst</u>
Vital Statistics Digitized System Budgeted Amount - \$2,700,000 Comments: Expenditure: \$1,227,031.79 Project % Completed: 11%	Multi	2018-2020	Execution & Control Phase			
WIC Modernization Budgeted Amount - \$10,756,000 Comments: Expenditure: \$296,397.24 Project % Completed: 13%	Multi	2020-2022	Initiation Phase			
Justice and Public Safety Cabinet/Public Advocacy						
* Case Management System Budgeted Amount - \$1,650,000 Comments: Expenditure: 0 Project % Completed: 0	Multi	2022-2024	Initiation Phase			
Justice and Public Safety Cabinet/State Police						
* Emergency Radio System Replacement, Phase II Budgeted Amount - \$52,450,000 Reported under Two-Way Radio System Replacement, Phase I and Phase II Comments: Report under Two-Way Radio System Replacement Phase III	Multi	2020-2022	Execution & Control Phase			
* Emergency Radio System Replacement, Phase III Budgeted Amount - \$80,909,000 Comments: Expenditure: \$64,932,069.58 Project % Completed: 89%	Multi	2022-2024	Execution & Control Phase			
* Two-Way Radio System Replacement, Phase I and Phase II Budgeted Amount - \$35,100,000 (2018-2020) and \$52,450,000 (2020-2021) for \$87,550,000 total Two-Way Radio System Replacement, Phase I and Emergency Radio System Replacement, Phase II combined under one account Comments: Report under Two-Way Radio System Replacement Phase III	Multi	2018-2020	Execution & Control Phase			
Postsecondary Education Cabinet/Council on Postsecondary Education						
* Upgrade Kentucky Regional Optical Network Infrastructure Enhancement Budgeted Amount - \$1,000,000	Multi	2022-2024	Initiation Phase			

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<u>Cabinet/Agency/Project Title</u>	<u>County</u>	<u>Initial Auth</u>	<u>Status</u>	<u>Constr % Compl</u>	<u>Contract Compl</u>	<u>Actual Subst</u>
Comments: Expenditure: 0 Project % Completed: 0%						
Postsecondary Education Cabinet/KY Community and Technical College System						
Upgrade IT Infrastructure - Gateway CTC	Multi	2020-2022	Initiation Phase			
Budgeted Amount - \$1,500,000						
Comments: Expenditure: 0						
Project % Completed: 0%						
Tourism, Arts & Heritage Cabinet/KY Heritage Council						
* Records Digitization	Multi	2020-2022	Execution & Control Phase			
Budgeted Amount - \$1,000,000						
Reallocation from Historical Society's Historical Society Digital Initiatives						
Comments: Expenditure: \$989,433.83						
Project % Completed: 97%						
Tourism, Arts & Heritage Cabinet/KY Historical Society						
* Historical Society Digital Initiatives	Multi	2014-2016	Execution & Control Phase			
Budgeted Amount - reduced from \$3,500,000 to \$2,500,000						
Bond funded portion reallocated to Heritage Council's Records Digitization						
Transportation Cabinet/Gen Admin & Support (Transp)						
* AASHTOWare	Multi	2022-2024	Execution & Control Phase			
Budgeted Amount - \$2,000,000						
Initiated under prior 2020-2022 authorization						
Comments: Expenditure: \$1,305,577.50						
Project % Completed: 46%						
Facilities Technology Modernization	Multi	CPBOC-4/01/21	Initiation Phase			
Budgeted Amount - \$1,450,000						
Comments: Expenditure: \$298,094.20						
Project % Completed: 14%						
* Replace Automated Vehicle Information System (AVIS)	Multi	2008-2010	Execution & Control Phase			
Budgeted Amount - \$29,000,000						
KYTC used \$25 million in bond funds and will use \$4 million in restricted funds to complete the project, adding a centralized lien management system						

QUARTERLY CAPITAL PROJECTS STATUS REPORT

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Comments: Expenditure: \$28,175,737.21 Project % Completed: 60%						
* Replace Kentucky Driver Licensing System Budgeted Amount - \$12,500,000 Comments: Expenditure: \$524,922.86 Project % Completed: 6%	Multi	2012-2014	Initiation Phase			
* Transportation Enterprise Database II Budgeted Amount - \$3,000,000 Comments: Expenditure: \$548,455.78 Project % Completed: 22%	Multi	2016-2018	Execution & Control Phase			
Transportation Cabinet/Vehicle Regulation						
* International Registration Plan System Upgrade Budgeted Amount - \$2,500,000 Comments: Expenditure: \$1,907,208.85 Project % Completed: 64%	Multi	2016-2018	Execution & Control Phase			

* indicates projects involving General Fund supported bonds or "state" cash (General Fund, Investment Income, Capital Construction Surplus, Contingency Fund, Emergency Fund, or Statewide Deferred Maintenance Fund).

JUDICIAL BRANCH PROJECTS
Bonds are county-issued not state-issued

9/30/22

Project - Henry County Judicial Center

Current Phase Completed
Moved In September 20-24, 2021

Source of funds - county-issued bonds

PAR on bond 16,075,000.00
Expenditures through September 2022 15,293,774.38

Project - Nicholas County Judicial Center

Current Phase Completed
Moved In November 2021

Source of funds - county-issued bonds

PAR on bond 13,340,000.00
Expenditures through September 2022 11,615,511.80

Project - Oldham County

Current Phase Phase C

Source of funds - county-issued bonds

PAR on bond not issued yet
Expenditures through September 2022 -

Project - Bath County

Current Phase Phase C

Source of funds - county-issued bonds

PAR on bond not issued yet
PAR on BANs 1,555,000.00
Expenditures on BANs through September 2022 945,293.63

Project - Barren County

Current Phase Phase A

Source of funds - county-issued bonds

PAR on bond not issued yet
Expenditures through September 2022 -

Project - Butler County

Current Phase Phase A

Source of funds - county-issued bonds

PAR on bond	not issued yet
PAR on BANs	1,500,000.00
Expenditures on BANs through September 2022	5,250.00

Project - Clinton County

Current Phase Phase A

Source of funds - county-issued bonds

PAR on bond	not issued yet
PAR on BANs	2,235,000.00
Expenditures on BANs through September 2022	-

Project - Crittenden County

Current Phase Phase A

Source of funds - county-issued bonds

PAR on bond	not issued yet
PAR on BANs	790,000.00
Expenditures on BANs through September 2022	112,422.69

Project - Jessamine County

Current Phase Phase A

Source of funds - county-issued bonds

PAR on bond	not issued yet
PAR on BANs	3,500,000.00
Expenditures on BANs through September 2022	17,537.50

Project - Scott County

Current Phase Phase A

Source of funds - county-issued bonds

PAR on bond	not issued yet
PAR on BANs	4,500,000.00
Expenditures on BANs through September 2022	2,274,365.49

Project - Madison County

Current Phase Phase C

Source of funds - county-issued bonds

PAR on bond not issued yet

Expenditures through September 2022 -

Project - Leslie County

Current Phase Phase A

Source of funds - county-issued bonds

PAR on bond not issued yet

Expenditures through September 2022 -

Project - Graves County

Current Phase Phase A

Source of funds - county-issued bonds

PAR on bond not issued yet

Expenditures through September 2022 -

Project - Hardin Co. - HVAC

Current Phase Planning

Source of funds - general fund 3,000,000

Expenditures through September 2022 -

Project - Jefferson Co. - Carpet/Paint

Current Phase Planning

Source of funds - general fund 1,189,000

Expenditures through September 2022 -

Project - Electronic Court Case Management System

Current Phase Planning

Source of funds - federal funds 38,000,000

Expenditures through September 2022 -

FY22 EKU Capital Report

Capital Project Title	Appropriations		Appropriation	Reportable Act	Fund Affected	Appropriation	Expended To Date	Percentage Complete	Notes
	Act	Fund Type							
Miscellaneous Maintenance Pool - 2020-2022	HB 192	RF	\$20,000,000						
Campbell Building-Giles Gallery HVAC		RF		3-Jun-22		\$1,500,000	\$78,506		
Ramsey Heat Plant Boiler 5		RF		28-Apr-22		\$1,200,000	\$193,114		
Miscellaneous Maintenance Pool - 2020-2022 Subtotal							\$271,619	1.4%	
Construct Student Life Facilities	HB 303	AGBD	\$90,000,000				\$70,023,042	77.8%	
Construct Student Life Facilities Subtotal		Other	\$3,000,000	1-Jun-18	\$1,100,000	\$4,100,000	\$2,536,434	84.5%	Unused authorization remains for continued Student Life project expenses, "Other" funded project bookstore complete
Campus Data Network Pool	HB 192	RF	\$13,000,000				\$1,751,070	13.5%	
Academic Computing Pool	HB 192	RF	\$8,000,000				\$3,104,454	38.8%	
Administrative Computing Pool	HB 192	RF	\$6,500,000				\$2,995,840	46.1%	
University Services Space	HB 352	RF	\$2,000,000				\$1,960,727	98.0%	
Aviation Acquisition Pool Subproject: 1999-CESSNA-172R-N159FS; 1999 CESSNA-172S-N870SP; 1997-CESSNA-172R-N91FS; 1998-CESSNA-172R-N92FS	HB 192	RF	\$5,000,000						
Aviation Acquisition Pool Subtotal							\$675,000	13.5%	
Construct Aviation/Aerospace Instructional Facility	HB 352	BF	\$3,015,000				\$0		\$1,890,800 to be reallocated for FY23 per FY22-24 Appropriations Act
Purchase Aviation Maintenance Technician/Pilot Training Equipment	HB 352	BF	\$5,000,000				\$3,109,200	62.2%	Balance reallocated to Instructional Facility per FY22-24 Appropriations Act
Property Acquisitions Pools (sic)	HB 192	RF	\$3,000,000						
University Farms Addition		Other	\$3,000,000						
University Farms Addition		RF					\$2,407,250	80.2%	
Upgrade Building Management System Controls		FF		13-Apr-22		\$1,150,000	\$664,852	57.8%	

June 30, 2022



MOREHEAD STATE UNIVERSITY

Capital Construction Projects Reports
As of June 30, 2022

Report Date: September 15, 2022

Capital Construction Status

Projects Not Completed

Morehead State University

June 30, 2022

The 2020-22 Biennial Capital Budget for Morehead State University (MoSU) included a total of \$66,480,000 in allotments for projects. As of the close of Fiscal Year 2022, MoSU had not expended any funds for capital projects. MoSU began work on one capital project as reported on below, but did not expend any funds prior to June 30, 2022.

Title	Renovate Alumni Tower Ground Floor
Legislative Authorization	2018 -2020 Biennium
Current Phase	Design
Estimated Completion Date	12/2023
Estimated Project Cost	\$3,812,000
Total Allotments to Date	\$0
Source of Allotments to Date	Agency Bonds
Total Allotments Still Required	\$3,812,000
Source of Allotments Still Required	Agency Bonds
Expenditures to Date	\$0
Explanation of Major Transfers	N/A
Additional Information	In May/June of 2022, MoSU selected a design consultant and kicked-off the design process on June 22, 2022. Design is scheduled to be completed in October of 2022 and bids accepted in November of 2022 so that construction may begin in December of 2022. The anticipated project completion date is Fall of 2023.

MURRAY STATE UNIVERSITY

Capital Construction Status Projects Not Completed

June 30, 2022

Capital Construction Statue Projects Not Completed

June 30, 2022

Murray State University

Summary of Project Requirements

Total Project Costs	\$ 53,167,129
Total Project Allotments	<u>53,167,129</u>
Allotments Still Required	<u><u>\$ -</u></u>

Total Project Costs	\$ 53,167,129
Total Expenditures to Date	<u>41,660,894</u>
Expenditures Still to be Made	<u><u>\$ 11,506,235</u></u>

Project Detail Information

Project Title	Acquire Land/Design New Breathitt Veterinary Center
Identification Number	R20193 / R20151
Legislative Authorization	14-16 Biennium
Current Phase	Complete
Estimated Completion Date	Complete
Estimated Project Cost	\$4,008,129
Total Allotments to Date	\$4,008,129
Source of Allotments to Date	State general fund
Total Allotments Still Required	\$0
Expenditures to Date	\$4,008,129
Explanation of Major Transfers	N/A
Additional Information	Combined with construction costs of \$32,468,000.

Project Detail Information

Project Title	Construct New Breathitt Veterinary Center
Identification Number	R20151/R20298
Legislative Authorization	14-16 Biennium
Current Phase	Complete/Not Closed Out
Estimated Completion Date	Complete
Estimated Project Cost	\$32,468,000
Total Allotments to Date	\$32,468,000
Source of Allotments to Date	State general fund
Total Allotments Still Required	\$0
Expenditures to Date	\$31,236,878
Explanation of Major Transfers	N/A
Additional Information	Combined with acquire land/design costs of \$4,008,129 Sub project created - Construct New BVC Equipment Storage Bldg

Project Detail Information

Project Title	Blackburn Renov Asbestos & A&E
Identification Number	R20290
Legislative Authorization	CPBOC-3/01/19
Current Phase	Complete/Not Closed Out
Estimated Completion Date	Complete
Estimated Project Cost	\$3,116,000
Total Allotments to Date	\$3,116,000
Source of Allotments to Date	Restricted Funds
Total Allotments Still Required	\$0
Expenditures to Date	\$2,401,781
Explanation of Major Transfers	N/A
Additional Information	N/A

Project Detail Information

Project Title	Curris Center Interior Refresh
Identification Number	R20312
Legislative Authorization	2020-2022
Current Phase	Bidding
Estimated Completion Date	N/A
Estimated Project Cost	\$4,460,000
Total Allotments to Date	\$4,460,000
Source of Allotments to Date	Historic Building Preservation Pool/Match Agency Bonds
Total Allotments Still Required	\$0
Expenditures to Date	\$241,772
Explanation of Major Transfers	N/A
Additional Information	N/A

Project Detail Information

Project Title	Renovate Lovett Auditorium - HVAC and Electrical Repairs
Identification Number	R20342
Legislative Authorization	SB006140.100-837 CPBOC-12/01/20
Current Phase	Complete/In Warranty
Estimated Completion Date	Oct-2021
Estimated Project Cost	\$2,000,000
Total Allotments to Date	\$2,000,000
Source of Allotments to Date	Restricted Funds
Total Allotments Still Required	\$0
Expenditures to Date	\$2,100,883
Explanation of Major Transfers	N/A
Additional Information	Additional work being done under Historic Building Preservation Pool (Sub-project: Lovett Phase II Renovations)

Project Detail Information

Project Title	Lovett Phase II Renovations
Identification Number	R20350
Legislative Authorization	2020-2022
Current Phase	In Construction
Estimated Completion Date	Aug-2022
Estimated Project Cost	\$1,560,000
Total Allotments to Date	\$1,560,000
Source of Allotments to Date	Historic Building Preservation Pool
Total Allotments Still Required	\$0
Expenditures to Date	\$991,213
Explanation of Major Transfers	N/A
Additional Information	N/A

Project Detail Information

Project Title	Wrather Hall Auditorium Renovations
Identification Number	R20351
Legislative Authorization	2020-2022
Current Phase	In Construction
Estimated Completion Date	Nov-2022
Estimated Project Cost	\$1,720,000
Total Allotments to Date	\$1,720,000
Source of Allotments to Date	Historic Building Preservation Pool
Total Allotments Still Required	\$0
Expenditures to Date	\$468,927
Explanation of Major Transfers	N/A
Additional Information	N/A

Project Detail Information

Project Title	Carr Hall HVAC
Identification Number	R20354
Legislative Authorization	2020-2022
Current Phase	Bidding
Estimated Completion Date	N/A
Estimated Project Cost	\$1,730,000
Total Allotments to Date	\$1,730,000
Source of Allotments to Date	Historic Building Preservation Pool
Total Allotments Still Required	\$0
Expenditures to Date	\$102,132
Explanation of Major Transfers	N/A
Additional Information	N/A

Project Detail Information

Project Title	Racer Arena HVAC
Identification Number	R20355
Legislative Authorization	2020-2022
Current Phase	Bidding
Estimated Completion Date	N/A
Estimated Project Cost	\$1,120,000
Total Allotments to Date	\$1,120,000
Source of Allotments to Date	Historic Building Preservation Pool
Total Allotments Still Required	\$0
Expenditures to Date	\$69,963
Explanation of Major Transfers	N/A
Additional Information	N/A

Project Detail Information

Project Title	Waterfield HVAC Phase II
Identification Number	R20356
Legislative Authorization	2020-2022
Current Phase	Bidding
Estimated Completion Date	N/A
Estimated Project Cost	\$560,000
Total Allotments to Date	\$560,000
Source of Allotments to Date	Historic Building Preservation Pool
Total Allotments Still Required	\$0
Expenditures to Date	\$39,216
Explanation of Major Transfers	N/A
Additional Information	N/A

Project Detail Information

Project Title	Replace Campus Comm Infrastructure (Fiber Ring)
Identification Number	AT1036
Legislative Authorization	2020-2022
Current Phase	In Construction
Estimated Completion Date	Jun-2023
Estimated Project Cost	\$425,000
Total Allotments to Date	\$425,000
Source of Allotments to Date	Restricted Funds
Total Allotments Still Required	\$0
Expenditures to Date	\$0
Explanation of Major Transfers	N/A
Additional Information	N/A

Northern Kentucky University
2022 State Capital Construction Projects
as of 6/30/2022

Source	<u>Scope</u>	<u>Allotments to Date</u>	<u>Expenditures to Date</u>	<u>Unexpended</u>
State Bonds	-	-	-	-
Restricted - Private Donation	-	-	-	-
Third Party Financing	-	-	-	-
Agency Bonds	45,071,000.00	41,500,077.56	-	3,570,922.44
Interest	173,891.31	172,196.44	-	-
Other	1,017,990.04	-	-	-
Expenditures	-	-	41,672,274.00	-
Total	46,262,881.35	41,672,274.00	41,672,274.00	3,570,922.44

Projects:

Project Title	ConstructAcquire New Residence Hall w/Sub-projects
NKU Cost Center	296090068, 296090067, 296090071, 296090073, 296090074, 296090075, 296090090, 296090091
eMARS Fund	C88B
Department	450
Legislative Authorization	GA 2016-2018
Current Phase	Complete/Not Closed Out, Complete/In Warranty, In Construction, Awarding Contract
Estimated Completion Date	8/13/2021, 3/11/22, 5/31/22, 7/15/22, 7/30/22, 10/31/22, 11/01/22

Source	<u>Scope</u>	<u>Allotments to Date</u>	<u>Expenditures to Date</u>	<u>Unexpended</u>
Agency Bonds	45,071,000.00	41,500,077.56	-	3,570,922.44
Interest	173,891.31	172,196.44	-	-
Other	1,017,990.04	-	-	-
Expenditures	-	-	41,672,274.00	-
Total	46,262,881.35	41,672,274.00	41,672,274.00	3,570,922.44



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October 13, 2022

TO: Members of the Capital Projects and Bond Oversight Committee
Room 34, Capital Annex
702 Capital Avenue
Frankfort, KY 40601

FROM: Penny Cox *Penny D. Cox*
Treasurer

SUBJECT: University of Kentucky Capital Construction Report,
Fiscal Year 2021-2022

Enclosed is the annual Capital Construction Status Report containing information relating to active University of Kentucky capital construction projects as of June 30, 2022. This report is submitted in compliance with requirements of KRS 45.760 (9) as enacted by the 1982 General Assembly.

The report was prepared from University of Kentucky records and includes all legislatively authorized projects active in the 2021-2022 fiscal year.

Enclosure

CC: Janice Tomes
Katherine Halloran
Carla Wright
Eric Monday
Kevin Locke
Mary Vosevich
Tara Tecau
Taylor Sandusky
Angie Martin
Penny Cox
Elizabeth Baker
Laurie Sorg
Elizabeth Johnson

**University of Kentucky
2022 State Report and Capital Projects**

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	670,849,263.65	533,852,990.29	138,996,273.36	0.00
Private Funds	90,384,356.86	49,720,623.29	40,663,733.57	0.00
Bond Proceeds	447,143,052.80	447,015,528.39	127,524.41	0.00
Investment Income	6,100,574.89	6,100,574.50	0.39	0.00
Other	35,264,097.68	30,405,515.04	4,858,582.64	0.00
State Funds	221,500,000.00	207,500,000.00	14,000,000.00	0.00
Expenses	0.00	0.00	0.00	1,148,850,617.20
Total	1,471,241,345.88	1,274,595,231.51	198,646,114.37	1,148,850,617.20

TITLE PATIENT CARE FACILITY (FIT-UP PAV A BASEMENT & OTHER IMPROVEMENTS PHASE I-J)
 UK ACCT NUMBER 4102239770
 PROJECT NUMBER 2239.77
 LEGISLATIVE AUTHORIZATION GA 2020-2022
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 1/2/2025
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	26,000,000.00	7,119,003.00	18,880,997.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	6,182,411.29
Total	26,000,000.00	7,119,003.00	18,880,997.00	6,182,411.29

TITLE RENOVATE/EXPAND UNIVERSITY STUDENT CENTER
 UK ACCT NUMBER 4102396000, 4102396001
 PROJECT NUMBER 2396.0, 2396.00
 LEGISLATIVE AUTHORIZATION GA 2016-2018
 CURRENT PHASE Ongoing Warranty/Closeout Issues
 ESTIMATED COMPLETION DATE 7/1/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	19,346,185.30	19,346,181.78	3.52	0.00
Private Funds	20,000,000.00	19,958,500.00	41,500.00	0.00
Bond Proceeds	160,000,000.00	160,000,000.00	0.00	0.00
Investment Income	905,263.38	905,263.38	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	199,357,753.38
Total	200,251,448.68	200,209,945.16	41,503.52	199,357,753.38

TITLE INTERVENTIONAL SERVICES PAV A-RENOVATE/UPGRADE UK HEALTHCARE FACILITIES (PH 1-I)
 UK ACCT NUMBER 4102402130
 PROJECT NUMBER 2402.13
 LEGISLATIVE AUTHORIZATION GA 2016-2018
 CURRENT PHASE Ongoing Warranty/Closeout Issues
 ESTIMATED COMPLETION DATE 7/30/2022
 DISPOSITION OF BALANCES Clearing Account
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	3,092,244.75	3,092,244.75	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	43,139,033.00	43,139,033.00	0.00	0.00
Investment Income	508,956.25	508,956.25	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	43,651,632.35
Total	46,740,234.00	46,740,234.00	0.00	43,651,632.35

TITLE	RENOVATE/UPGRADE UK HEALTHCARE FACILITIES (PHASE-I) - 12TH FLOOR FIT-OUT				
UK ACCT NUMBER	4102402160				
PROJECT NUMBER	2402.16				
LEGISLATIVE AUTHORIZATION	GA 2016-2018				
CURRENT PHASE	Under Construction				
ESTIMATED COMPLETION DATE	12/20/2024				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	42,000,000.00	3,261,475.00	38,738,525.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	2,363,482.65	
Total	42,000,000.00	3,261,475.00	38,738,525.00	2,363,482.65	

TITLE	KY CHILDREN'S HOSPITAL NICU-RENOVATE/UPGRADE UK HEALTHCARE FACILITIES (PH 1F) NEW FUNDS APP				
UK ACCT NUMBER	4102402300, 4102402301				
PROJECT NUMBER	2402.30, 2402.31				
LEGISLATIVE AUTHORIZATION	GA 2016-2018				
CURRENT PHASE	Ongoing Warranty/Closeout Issues				
ESTIMATED COMPLETION DATE	7/1/2022				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	0.00	0.00	0.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	78,936,590.99	78,936,590.99	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	78,733,761.33	
Total	78,936,590.99	78,936,590.99	0.00	78,733,761.33	

TITLE	FIT-UP 5TH & 12TH FLOORS PAV A-RENOVATE/UPGRADE UK HEALTHCARE FACILITIES (PH 1-I)				
UK ACCT NUMBER	4102402900				
PROJECT NUMBER	2402.9				
LEGISLATIVE AUTHORIZATION	GA 2016-2018				
CURRENT PHASE	Beneficial Occupancy				
ESTIMATED COMPLETION DATE	4/20/2023				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	15,084,861.82	14,739,575.75	345,286.07	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	19,020,937.92	19,020,937.92	0.00	0.00	
Investment Income	2,894,200.26	2,894,200.26	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	32,205,272.70	
Total	37,000,000.00	36,654,713.93	345,286.07	32,205,272.70	

TITLE	CONSTRUCT RESEARCH BUILDING				
UK ACCT NUMBER	4102425000, 4102425100				
PROJECT NUMBER	2425.0, 2425.1				
LEGISLATIVE AUTHORIZATION	2015 REG SESS HB298				
CURRENT PHASE	Ongoing Warranty / Closeout Issues				
ESTIMATED COMPLETION DATE	6/30/2023				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	40,291,633.20	40,200,348.83	91,284.37	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	132,500,000.00	132,500,000.00	0.00	0.00	
Expenses	0.00	0.00	0.00	172,633,947.74	
Total	172,791,633.20	172,700,348.83	91,284.37	172,633,947.74	

TITLE **CONSTRUCT TENNIS FACILITY**
 UK ACCT NUMBER 4102438000
 PROJECT NUMBER 2438.00
 LEGISLATIVE AUTHORIZATION GA 2016-2018
 CURRENT PHASE On Hold
 ESTIMATED COMPLETION DATE 9/30/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	950,000.00	950,000.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	877,231.14
Total	950,000.00	950,000.00	0.00	877,231.14

TITLE **EXPAND/RENOVATE/UPGRADE LAW BUILDING**
 UK ACCT NUMBER 4102444000
 PROJECT NUMBER 2444.0
 LEGISLATIVE AUTHORIZATION GA 2014-2016
 CURRENT PHASE Ongoing Warranty/Closeout Issues
 ESTIMATED COMPLETION DATE 7/30/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	21,000,000.00	21,000,000.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	35,000,000.00	35,000,000.00	0.00	0.00
Expenses	0.00	0.00	0.00	55,464,065.67
Total	56,000,000.00	56,000,000.00	0.00	55,464,065.67

TITLE **FACILITIES RENEWAL, MODERNIZATION AND DEFERRED MAINTENANCE**
 UK ACCT NUMBER 4102446100, 4102446110, 4102446200, 4102446210, 4102446220, & 4102446300
 PROJECT NUMBER 2446.1, 2446.11, 2446.2, 2446.21, 2446.22, & 2446.3
 LEGISLATIVE AUTHORIZATION GA 2016-2018
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 3/18/2023
 DISPOSITION OF BALANCES Clearing Account
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	60,000,000.00	60,000,000.00	0.00	0.00
Investment Income	1,792,155.00	1,792,154.61	0.39	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	61,777,503.00
Total	61,792,155.00	61,792,154.61	0.39	61,777,503.00

TITLE **FACILITIES RENEWAL, MODERNIZATION AND DEFERRED MAINTENANCE**
 UK ACCT NUMBER 4102446400, 4102511200, 4102511300, 4102511500, 4102511600, 4102511700, 4102511720, 4102511800, & 4102511900
 PROJECT NUMBER 2446.4, 2511.2, 2511.3, 2511.5, 2511.6, 2511.7, 2511.72, 2511.8, & 2511.9
 LEGISLATIVE AUTHORIZATION GA 2018-2020
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 3/18/2023
 DISPOSITION OF BALANCES Clearing Account
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	62,000,000.00	62,000,000.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	36,066,822.00
Total	62,000,000.00	62,000,000.00	0.00	36,066,822.00

TITLE **RADIATION MEDICINE LINEAR ACCELERATOR/BRACHYTHERAPY-IMPROVE CLINICAL/AMBULATORY**
 UK ACCT NUMBER 4102457000
 PROJECT NUMBER 2457.0
 LEGISLATIVE AUTHORIZATION GA 2016-2018
 CURRENT PHASE Ongoing Warranty/Closeout Issues
 ESTIMATED COMPLETION DATE 7/1/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	16,200,000.00	16,070,000.00	130,000.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	15,912,212.17
Total	16,200,000.00	16,070,000.00	130,000.00	15,912,212.17

TITLE **GRAIN CENTER OF EXCELLENCE-UPGRADE/RENOVATE/EXPAND RESEARCH LABS**
 UK ACCT NUMBER 4102458000
 PROJECT NUMBER 2458.0
 LEGISLATIVE AUTHORIZATION GA 2016-2018
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 2/1/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	1,543,456.70	1,543,456.70	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	15,000,000.00	15,000,000.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	16,543,456.70
Total	16,543,456.70	16,543,456.70	0.00	16,543,456.70

TITLE **REPLACE AHU #24 & #54-IMPROVE GOOD SAMARITAN HOSPITAL FACILITIES**
 UK ACCT NUMBER 4102462000
 PROJECT NUMBER 2462.0
 LEGISLATIVE AUTHORIZATION GA 2016-2018
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 3/22/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	1,843,589.62	1,843,589.62	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	1,843,589.62
Total	1,843,589.62	1,843,589.62	0.00	1,843,589.62

TITLE **UNIVERSITY INN - RENOVATE/UPGRADE FACILITIES HC FACILITIES**
 UK ACCT NUMBER 4102467000
 PROJECT NUMBER 2467.0
 LEGISLATIVE AUTHORIZATION GA 2016-2018
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 1/27/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	7,422,545.72	7,422,545.72	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	7,422,545.72
Total	7,422,545.72	7,422,545.72	0.00	7,422,545.72

TITLE	CENTRAL CAMPUS UTILITY RELOCATION-IMPROVE MECHANICAL INFRASTRUCTURE				
UK ACCT NUMBER	4102493000				
PROJECT NUMBER	2493.0				
LEGISLATIVE AUTHORIZATION	GA 2018-2020				
CURRENT PHASE	Final Closed				
ESTIMATED COMPLETION DATE	6/14/2022				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	7,868,233.46	7,868,233.46	0.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	7,868,233.46	
Total	7,868,233.46	7,868,233.46	0.00	7,868,233.46	

TITLE	REPAIR/UPGRADE/EXPAND CENTRAL PLANT COOLING PLANT #1 TOWER REPLACEMENT				
UK ACCT NUMBER	4102497000				
PROJECT NUMBER	2497.0				
LEGISLATIVE AUTHORIZATION	GA 2018-2020				
CURRENT PHASE	Beneficial Occupancy				
ESTIMATED COMPLETION DATE	10/31/2022				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	9,600,000.00	9,600,000.00	0.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	6,430,451.52	
Total	9,600,000.00	9,600,000.00	0.00	6,430,451.52	

TITLE	RESEARCH BUILDING 2 - PHASE II - UK HEALTHCARE DISPARITIES INITIATIVES				
UK ACCT NUMBER	4102499000,4102552000				
PROJECT NUMBER	2499.0, 2552.0				
LEGISLATIVE AUTHORIZATION	GA 2018-2020				
CURRENT PHASE	Ongoing Warranty/Closeout Issues				
ESTIMATED COMPLETION DATE	7/1/2022				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	18,464,438.32	18,064,438.32	400,000.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	40,000,000.00	40,000,000.00	0.00	0.00	
Expenses	0.00	0.00	0.00	53,138,102.94	
Total	58,464,438.32	58,064,438.32	400,000.00	53,138,102.94	

TITLE	CANCER SERVICES - IMPROVE CLINICAL/AMBULATORY SERVICES				
UK ACCT NUMBER	4102500000				
PROJECT NUMBER	2500.0				
LEGISLATIVE AUTHORIZATION	GA 2018-2020				
CURRENT PHASE	Beneficial Occupancy				
ESTIMATED COMPLETION DATE	11/24/2022				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	17,250,000.00	16,100,000.00	1,150,000.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	15,085,434.93	
Total	17,250,000.00	16,100,000.00	1,150,000.00	15,085,434.93	

TITLE	UKGS MRI - IMPROVE GOOD SAMARITAN HOSPITAL FACILITIES				
UK ACCT NUMBER	4102501000				
PROJECT NUMBER	2501.0				
LEGISLATIVE AUTHORIZATION	GA 2018-2020				
CURRENT PHASE	Final Closed				
ESTIMATED COMPLETION DATE	3/22/2022				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	7,363,807.47	7,363,807.47	0.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	7,363,807.47	
Total	7,363,807.47	7,363,807.47	0.00	7,363,807.47	

TITLE	PAVILION HA AHU #1, 2 & 3 - REPAIR, UPGRADE OR IMPROVE BUILDING SYSTEMS - UKHC				
UK ACCT NUMBER	4102503000				
PROJECT NUMBER	2503.0				
LEGISLATIVE AUTHORIZATION	GA 2016-2018				
CURRENT PHASE	Beneficial Occupancy				
ESTIMATED COMPLETION DATE	10/15/2022				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	3,500,000.00	3,500,000.00	0.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	3,296,528.33	
Total	3,500,000.00	3,500,000.00	0.00	3,296,528.33	

TITLE	POULTRY RESEARCH FACILITY RELOCATION - CONSTRUCT AGRICULTURE RESEARCH FACILITY 2				
UK ACCT NUMBER	4102505000				
PROJECT NUMBER	2505.0				
LEGISLATIVE AUTHORIZATION	GA 2018-2020				
CURRENT PHASE	Under Construction				
ESTIMATED COMPLETION DATE	8/16/2023				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	6,000,000.00	6,000,000.00	0.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	354,000.00	341,421.00	12,579.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	5,531,411.33	
Total	6,354,000.00	6,341,421.00	12,579.00	5,531,411.33	

TITLE	HARRIS BALLROOM - IMPROVE STUDENT CENTER SPACE 1				
UK ACCT NUMBER	4102506000				
PROJECT NUMBER	2506.0				
LEGISLATIVE AUTHORIZATION	GA 2018-2020				
CURRENT PHASE	Final Closed				
ESTIMATED COMPLETION DATE	6/14/2022				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	4,223,565.76	4,223,565.76	0.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	4,223,565.76	
Total	4,223,565.76	4,223,565.76	0.00	4,223,565.76	

TITLE **AG NORTH HVAC - IMPROVE BUILDING MECHANICAL SYSTEMS**
 UK ACCT NUMBER 4102508000
 PROJECT NUMBER 2508.0
 LEGISLATIVE AUTHORIZATION GA 2018-2020
 CURRENT PHASE Beneficial Occupancy
 ESTIMATED COMPLETION DATE 6/30/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	6,949,960.52	6,949,960.52	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	6,925,013.41
Total	6,949,960.52	6,949,960.52	0.00	6,925,013.41

TITLE **COOPER HOUSE - IMPROVE ACADEMIC/ ADMINISTRATIVE SPACE 1**
 UK ACCT NUMBER 4102511100
 PROJECT NUMBER 2511.1
 LEGISLATIVE AUTHORIZATION GA 2020-2022
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 5/29/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	4,330,000.00	4,330,000.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	3,006,269.49
Total	4,330,000.00	4,330,000.00	0.00	3,006,269.49

TITLE **LIBRARY DRIVE EXTENSION PHASE 1 - IMPROVE CIVIL/SITE INFRASTRUCTURE**
 UK ACCT NUMBER 4102512000
 PROJECT NUMBER 2512.0
 LEGISLATIVE AUTHORIZATION GA 2018-2020
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/18/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	3,862,202.11	3,862,202.11	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	3,862,202.11
Total	3,862,202.11	3,862,202.11	0.00	3,862,202.11

TITLE **RENOVATE WAREHOUSE SPACE - PHASE II - POSTAL SERVICES**
 UK ACCT NUMBER 4102514100
 PROJECT NUMBER 2514.1
 LEGISLATIVE AUTHORIZATION GA 2018-2020
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 12/22/2021
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	1,775,158.90	1,775,158.90	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	1,775,158.90
Total	1,775,158.90	1,775,158.90	0.00	1,775,158.90

TITLE	UKGS IR - IMPROVE GOOD SAMARITAN HOSPITAL FACILITIES
UK ACCT NUMBER	4102517000
PROJECT NUMBER	2517.0
LEGISLATIVE AUTHORIZATION	GA 2018-2020
CURRENT PHASE	Final Closed
ESTIMATED COMPLETION DATE	3/22/2022
DISPOSITION OF BALANCES	Original Source
COMMENTS	Project was canceled

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	223,543.14	223,543.14	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	223,543.14
Total	223,543.14	223,543.14	0.00	223,543.14

TITLE	IMPROVE MEMORIAL COLISEUM
UK ACCT NUMBER	4102520000
PROJECT NUMBER	2520.0
LEGISLATIVE AUTHORIZATION	GA 2018-2020
CURRENT PHASE	On Hold
ESTIMATED COMPLETION DATE	8/18/2023
DISPOSITION OF BALANCES	Original Source
COMMENTS	

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	4,000,000.00	3,172,629.64	827,370.36	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	3,163,629.64
Total	4,000,000.00	3,172,629.64	827,370.36	3,163,629.64

TITLE	ACQUIRE/RENOVATE HOUSING - ALPHA GAMMA DELTA
UK ACCT NUMBER	4102521000
PROJECT NUMBER	2521.0
LEGISLATIVE AUTHORIZATION	GA 2018-2020
CURRENT PHASE	Beneficial Occupancy
ESTIMATED COMPLETION DATE	9/30/2022
DISPOSITION OF BALANCES	Original Source
COMMENTS	

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	4,900,000.00	4,571,825.04	328,174.96	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	4,533,720.37
Total	4,900,000.00	4,571,825.04	328,174.96	4,533,720.37

TITLE	ALPHA DELTA PI-ACQUIRE/RENOVATE HOUSING
UK ACCT NUMBER	4102524000
PROJECT NUMBER	2524.0
LEGISLATIVE AUTHORIZATION	GA 2018-2020
CURRENT PHASE	Beneficial Occupancy
ESTIMATED COMPLETION DATE	8/9/2022
DISPOSITION OF BALANCES	Original Source
COMMENTS	

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	5,900,000.00	5,639,296.34	260,703.66	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	5,639,296.34
Total	5,900,000.00	5,639,296.34	260,703.66	5,639,296.34

TITLE	STILL BUILDING - CONSTRUCT AGRICULTURE SHOWCASE AND SALES
UK ACCT NUMBER	4102526000
PROJECT NUMBER	2526.0
LEGISLATIVE AUTHORIZATION	GA 2020 - 2022
CURRENT PHASE	Under Construction
ESTIMATED COMPLETION DATE	10/7/2023
DISPOSITION OF BALANCES	Original Source
COMMENTS	

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	7,164,384.50	6,500,000.00	664,384.50	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	983,826.95
Total	7,164,384.50	6,500,000.00	664,384.50	983,826.95

TITLE	REPLACE CHILLER CAER LAB 1
UK ACCT NUMBER	4102527000
PROJECT NUMBER	2527.0
LEGISLATIVE AUTHORIZATION	GA 2018-2020
CURRENT PHASE	Final Closed
ESTIMATED COMPLETION DATE	9/30/2021
DISPOSITION OF BALANCES	Original Source
COMMENTS	

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	965,780.95	965,780.95	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	965,780.95
Total	965,780.95	965,780.95	0.00	965,780.95

TITLE	PAV H AHU - IMPROVE BUILDING SYSTEMS - UKHC
UK ACCT NUMBER	4102529000
PROJECT NUMBER	2529.0
LEGISLATIVE AUTHORIZATION	GA 2018-2020
CURRENT PHASE	Final Closed
ESTIMATED COMPLETION DATE	3/24/2022
DISPOSITION OF BALANCES	Original Source
COMMENTS	

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	1,247,962.79	1,247,962.79	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	1,247,962.79
Total	1,247,962.79	1,247,962.79	0.00	1,247,962.79

TITLE	DINING FACILITIES EXPANSION - IMPROVE STUDENT CENTER SPACE 2
UK ACCT NUMBER	4102530000
PROJECT NUMBER	2530.0
LEGISLATIVE AUTHORIZATION	GA 2018-2020 PR 1
CURRENT PHASE	Beneficial Occupancy
ESTIMATED COMPLETION DATE	7/31/2022
DISPOSITION OF BALANCES	Original Source
COMMENTS	

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	14,700,000.00	14,700,000.00	0.00	0.00
Private Funds	10,300,000.00	10,300,000.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	21,908,266.76
Total	25,000,000.00	25,000,000.00	0.00	21,908,266.76

TITLE DEMOLITION OF KIRWAN-BLANDING COMPLEX - DECOMMISSION FACILITIES

UK ACCT NUMBER 4102533000
 PROJECT NUMBER 2533.0
 LEGISLATIVE AUTHORIZATION GA 2018-2020
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 6/30/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	11,074,050.00	11,074,050.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	10,755,121.54
Total	11,074,050.00	11,074,050.00	0.00	10,755,121.54

TITLE 2020 MAINTENANCE-IMPROVE CAMPUS PARKING AND TRANSPORTATION SYSTEM

UK ACCT NUMBER 4102534000
 PROJECT NUMBER 2534.0
 LEGISLATIVE AUTHORIZATION GA 2018-2020
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 12/22/2021
 DISPOSITION OF BALANCES Original Source
 COMMENTS Project canceled

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	764,867.23	764,867.23	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	764,867.23
Total	764,867.23	764,867.23	0.00	764,867.23

TITLE CONSTRUCT MATURATION BUILDING

UK ACCT NUMBER 4102536000
 PROJECT NUMBER 2536.0
 LEGISLATIVE AUTHORIZATION GA 2020 - 2022
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 10/7/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	2,218,573.81	1,998,000.00	220,573.81	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	167,812.59
Total	2,218,573.81	1,998,000.00	220,573.81	167,812.59

TITLE CONSTRUCT RESEARCH BUILDING - FIT-UP TWO WET LABS

UK ACCT NUMBER 4102538000
 PROJECT NUMBER 2538.0
 LEGISLATIVE AUTHORIZATION GA 2018-2020
 CURRENT PHASE Beneficial Occupancy
 ESTIMATED COMPLETION DATE 9/22/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	2,000,000.00	2,000,000.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	6,000,000.00	6,000,000.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	7,502,179.25
Total	8,000,000.00	8,000,000.00	0.00	7,502,179.25

TITLE **3RD FLOOR RENOVATION - IMPROVE GOOD SAMARITAN HOSPITAL FACILITIES**
 UK ACCT NUMBER 4102542000
 PROJECT NUMBER 2542.0
 LEGISLATIVE AUTHORIZATION GA 2018-2020
 CURRENT PHASE Beneficial Occupancy
 ESTIMATED COMPLETION DATE 7/16/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	2,530,000.00	2,530,000.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	2,440,864.08
Total	2,530,000.00	2,530,000.00	0.00	2,440,864.08

TITLE **IMPROVE CAER FACILITIES - CARBON FIBER DEVELOPMENT FACILITY**
 UK ACCT NUMBER 4102543000
 PROJECT NUMBER 2543.0
 LEGISLATIVE AUTHORIZATION GA 2018-2020
 CURRENT PHASE Design - External Consultant
 ESTIMATED COMPLETION DATE 7/31/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	250,000.00	164,996.07	85,003.93	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	164,996.07
Total	250,000.00	164,996.07	85,003.93	164,996.07

TITLE **IMPROVE CAER FACILITIES - MINERAL PROCESSING BUILDING EXPANSION**
 UK ACCT NUMBER 4102544000
 PROJECT NUMBER 2544.0
 LEGISLATIVE AUTHORIZATION GA 2020-2022
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 6/10/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	1,166,251.00	419,599.62	746,651.38	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	419,599.62
Total	1,166,251.00	419,599.62	746,651.38	419,599.62

TITLE **IMPROVE COLDSTREAM RESEARCH CAMPUS - PUBLIC INFRASTRUCUTRE**
 UK ACCT NUMBER 4102549000
 PROJECT NUMBER 2549.0
 LEGISLATIVE AUTHORIZATION GA 2018-2020
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 12/30/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	2,162,600.00	1,984,712.70	177,887.30	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	1,826,413.47
Total	2,162,600.00	1,984,712.70	177,887.30	1,826,413.47

TITLE **AG COMPLEX - IMPROVE ELECTRICAL INFRASTRUCTURE**
 UK ACCT NUMBER 4102550000
 PROJECT NUMBER 2550.0
 LEGISLATIVE AUTHORIZATION GA 2020-2022
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 7/7/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	3,799,486.41	3,799,486.41	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	2,918,966.48	2,918,966.48	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	5,658,663.67
Total	6,718,452.89	6,718,452.89	0.00	5,658,663.67

TITLE **UKHC PAV H 3RD FLOOR BEHAVIORAL - RENOVATE/IMPROVE NURSING UNITS**
 UK ACCT NUMBER 4102551000
 PROJECT NUMBER 2551.0
 LEGISLATIVE AUTHORIZATION GA 2020-2022
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 11/8/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	6,900,000.00	3,357,258.00	3,542,742.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	2,056,802.31
Total	6,900,000.00	3,357,258.00	3,542,742.00	2,056,802.31

TITLE **PAV WH AHU 4&5 - IMPROVE BUILDING SYSTEMS - UKHC**
 UK ACCT NUMBER 4102553000
 PROJECT NUMBER 2553.0
 LEGISLATIVE AUTHORIZATION GA 2020-2022
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 12/14/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	2,000,000.00	2,000,000.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	1,132,684.07
Total	2,000,000.00	2,000,000.00	0.00	1,132,684.07

TITLE **PAV H PCA S1&S2 AHU REPLACEMENT - IMPROVE BUILDING SYSTEMS - UKHC**
 UK ACCT NUMBER 4102554000
 PROJECT NUMBER 2554.0
 LEGISLATIVE AUTHORIZATION GA 2020-2022
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 10/24/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	6,000,000.00	6,000,000.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	3,337,125.80
Total	6,000,000.00	6,000,000.00	0.00	3,337,125.80

TITLE **PAV H PCA S1&S2 AHU REPLACEMENT - IMPROVE BUILDING SYSTEMS - UKHC**
 UK ACCT NUMBER 4102555000
 PROJECT NUMBER 2555.0
 LEGISLATIVE AUTHORIZATION #
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 8/1/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	23,330.07	(23,330.07)	0.00
Private Funds	6,000,000.00	800,000.00	5,200,000.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	823,330.07
Total	6,000,000.00	823,330.07	5,176,669.93	823,330.07

TITLE **CONSTRUCT/ IMPROVE FACILITIES SHOPS & STORAGE FACILITY**
 UK ACCT NUMBER 4102556000
 PROJECT NUMBER 2556.0
 LEGISLATIVE AUTHORIZATION GA 2020-2022
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 4/20/2024
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	12,000,000.00	5,000,000.00	7,000,000.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	3,464,883.25
Total	12,000,000.00	5,000,000.00	7,000,000.00	3,464,883.25

TITLE **IMPROVE BUILDING SYSTEMS UK HEALTHCARE (GOOD SAMARITAN HOSPITAL EMERGENCY**
 UK ACCT NUMBER 4102557000
 PROJECT NUMBER 2557.0
 LEGISLATIVE AUTHORIZATION GA 2020-2022
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 4/1/2024
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	1,900,000.00	1,900,000.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	141,056.95
Total	1,900,000.00	1,900,000.00	0.00	141,056.95

TITLE **2021 PARKING GARAGE MAINTENANCE AND RESTORATION**
 UK ACCT NUMBER 4102558000
 PROJECT NUMBER 2558.0
 LEGISLATIVE AUTHORIZATION GA 2020-2022
 CURRENT PHASE Beneficial Occupancy
 ESTIMATED COMPLETION DATE 12/1/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	1,250,000.00	1,250,000.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	1,141,039.28
Total	1,250,000.00	1,250,000.00	0.00	1,141,039.28

TITLE **DEAERATORS - PHASE I**
 UK ACCT NUMBER 4102560000
 PROJECT NUMBER 2560.0
 LEGISLATIVE AUTHORIZATION GA 2020-2022
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 11/1/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	1,902,475.59	1,902,475.59	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	127,524.41	0.00	127,524.41	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	444,315.05
Total	2,030,000.00	1,902,475.59	127,524.41	444,315.05

TITLE	CONSTRUCT/EXPAND/RENOVATE AMBULATORY CARE - PAVILLION HA FORENSICS/PEDIATRIC				
UK ACCT NUMBER	4102562000				
PROJECT NUMBER	2562.0				
LEGISLATIVE AUTHORIZATION	GA 2020-2022				
CURRENT PHASE	Under Construction				
ESTIMATED COMPLETION DATE	9/7/2024				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	600,000.00	600,000.00	0.00	0.00	
Private Funds	3,800,000.00	1,425,000.00	2,375,000.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	150,150.91	
Total	4,400,000.00	2,025,000.00	2,375,000.00	150,150.91	

TITLE	CONSTRUCT AMB. FACILITY UKHC				
UK ACCT NUMBER	4102563000				
PROJECT NUMBER	2563.0				
LEGISLATIVE AUTHORIZATION	GA 2020-2022				
CURRENT PHASE	Design - External Consultant				
ESTIMATED COMPLETION DATE	10/17/2025				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	30,000,000.00	1,262,535.00	28,737,465.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	158,065.07	
Total	30,000,000.00	1,262,535.00	28,737,465.00	158,065.07	

TITLE	CONSTRUCT COLLEGE OF MEDICINE BUILDING (DESIGN ONLY)				
UK ACCT NUMBER	4102564000				
PROJECT NUMBER	2564.0				
LEGISLATIVE AUTHORIZATION	GA 2020-2022				
CURRENT PHASE	Design - External Consultant				
ESTIMATED COMPLETION DATE	5/20/2025				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	25,000,000.00	25,000,000.00	0.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	685,653.47	
Total	25,000,000.00	25,000,000.00	0.00	685,653.47	

TITLE	IMPROVE PARKING/ TRANSPORTATION SYSTEMS UKHC (PARKING STRUCTURE #8 - DESIGN ONLY)				
UK ACCT NUMBER	4102565000				
PROJECT NUMBER	2565.0				
LEGISLATIVE AUTHORIZATION	GA 2020-2022				
CURRENT PHASE	Design - External Consultant				
ESTIMATED COMPLETION DATE	2/26/2025				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	5,000,000.00	1,981,732.98	3,018,267.02	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	1,289,254.27	
Total	5,000,000.00	1,981,732.98	3,018,267.02	1,289,254.27	

TITLE	IMPROVE SANDERS-BROWN CENTER ON AGING/NEUROSCIENCE FACILITIES				
UK ACCT NUMBER	4102571000				
PROJECT NUMBER	2571.0				
LEGISLATIVE AUTHORIZATION	GA 2020-2022				
CURRENT PHASE	Under Construction				
ESTIMATED COMPLETION DATE	12/4/2025				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	14,000,000.00	10,000,000.00	6,000,000.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	14,000,000.00	0.00	14,000,000.00	0.00	
Expenses	0.00	0.00	0.00	735,514.82	
Total	28,000,000.00	10,000,000.00	20,000,000.00	735,514.82	

TITLE	REPAIR/UPGRADE/EXPAND CENTRAL PLANTS (EXPAND CENTRAL PLANT - DESIGN ONLY)				
UK ACCT NUMBER	4102572000				
PROJECT NUMBER	2572.0				
LEGISLATIVE AUTHORIZATION	GA 2020-2022				
CURRENT PHASE	Design - External Consultant				
ESTIMATED COMPLETION DATE	3/10/2023				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	4,000,000.00	20,312.90	3,979,687.10	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	20,312.90	
Total	4,000,000.00	20,312.90	3,979,687.10	20,312.90	

TITLE	UPGRADE/RENOVATE/EXPAND RESEARCH LABS (BIOSAFETY LAB RENOVATION - HEALTH SCIENCES RESEARCH BUILDING)				
UK ACCT NUMBER	4102573000				
PROJECT NUMBER	2573.0				
LEGISLATIVE AUTHORIZATION	GA 2020 - 2022				
CURRENT PHASE	Under Construction				
ESTIMATED COMPLETION DATE	8/20/2024				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	3,400,000.00	3,400,000.00	0.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	100,129.86	
Total	3,400,000.00	3,400,000.00	0.00	100,129.86	

TITLE	EDUCELAB INFRASTRUCTURE - EQUIPMENT - NSF				
UK ACCT NUMBER	4102574010				
PROJECT NUMBER	2574.01				
LEGISLATIVE AUTHORIZATION	GA 2020-2022 21E38				
CURRENT PHASE	In-House Work Force				
ESTIMATED COMPLETION DATE	9/30/2026				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	0.00	0.00	0.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	3,485,153.00	977,413.07	2,507,739.93	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	977,413.07	
Total	3,485,153.00	977,413.07	2,507,739.93	977,413.07	

TITLE **EDUCELAB INFRASTRUCTURE - EQUIPMENT - NEH**
 UK ACCT NUMBER 4102574020
 PROJECT NUMBER 2574.02
 LEGISLATIVE AUTHORIZATION GA 2020 - 2022 22E08
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 5/30/2026
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	353,328.00	141,331.20	211,996.80	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	117,776.00	47,110.40	70,665.60	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	188,441.60
Total	471,104.00	188,441.60	282,662.40	188,441.60

TITLE **IMPROVE CAMPUS PARKING AND TRANSPORTATION SYSTEM - 2022**
 UK ACCT NUMBER 4102579000
 PROJECT NUMBER 2579.0
 LEGISLATIVE AUTHORIZATION GA 2020-2022
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 4/3/2024
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	1,500,000.00	1,500,000.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	383,508.43
Total	1,500,000.00	1,500,000.00	0.00	383,508.43

TITLE **GRAIN & FORAGE CENTER EMERGENCY PROJECT DESIGN**
 UK ACCT NUMBER 4102581000
 PROJECT NUMBER 2581.0
 LEGISLATIVE AUTHORIZATION GA 2020-2022
 CURRENT PHASE Design - External Consultant
 ESTIMATED COMPLETION DATE 11/1/2024
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	3,000,000.00	0.00	3,000,000.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	12,468.89
Total	3,000,000.00	0.00	3,000,000.00	12,468.89

TITLE **4102582000 - IMPROVE KROGER FIELD STADIUM (VISUAL IMPROVEMENTS)**
 UK ACCT NUMBER 4102582000
 PROJECT NUMBER 2582.0
 LEGISLATIVE AUTHORIZATION GA 2020 - 2022
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 8/31/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	5,000,000.00	1,490,134.31	3,509,865.69	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	982,097.25
Total	5,000,000.00	1,490,134.31	3,509,865.69	982,097.25

TITLE **IMPROVE ATHLETICS FACILITY 2 (NUTTER FIELDHOUSE)**
 UK ACCT NUMBER 4102583000
 PROJECT NUMBER 2583.0
 LEGISLATIVE AUTHORIZATION GA 2020 - 2022
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 8/31/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	5,000,000.00	72,630.48	4,927,369.52	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	72,630.48
Total	5,000,000.00	72,630.48	4,927,369.52	72,630.48

TITLE **CONSTRUCT INDOOR TRACK**
 UK ACCT NUMBER 4102584000
 PROJECT NUMBER 2584.0
 LEGISLATIVE AUTHORIZATION GA 2020 - 2022
 CURRENT PHASE Under Construction
 ESTIMATED COMPLETION DATE 12/7/2024
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	20,000,000.00	18,247.42	19,981,752.58	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	18,247.42
Total	20,000,000.00	18,247.42	19,981,752.58	18,247.42

TITLE **SERVICE BLDG - WINDOW REPLACEMENT**
 UK ACCT NUMBER 4207464900
 PROJECT NUMBER 74649
 LEGISLATIVE AUTHORIZATION GA 2020-2022
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 6/30/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	1,500,000.00	1,500,000.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	60,926.98
Total	1,500,000.00	1,500,000.00	0.00	60,926.98

TITLE **DISASTER RECOVERY AND BUSINESS CONTINUITY IT PROJECT (LTCA AGG EQUIPMENT)**
 UK ACCT NUMBER 4297290400
 PROJECT NUMBER 72904
 LEGISLATIVE AUTHORIZATION GA 2016-2018 17IT23
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/24/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	3,553,152.37	3,553,152.37	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	3,553,152.37
Total	3,553,152.37	3,553,152.37	0.00	3,553,152.37

TITLE	HOSPITAL NETWORK UPGRADES FY18-UPGRADE ENTERPRISE INFORMATION SYSTEMS-UKHC				
UK ACCT NUMBER	4297290600				
PROJECT NUMBER	72906				
LEGISLATIVE AUTHORIZATION	GA 2016-2018 18IT17				
CURRENT PHASE	In-House Work Force				
ESTIMATED COMPLETION DATE	6/30/2023				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	1,778,640.00	1,778,640.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00		1,452,233.81
Total	1,778,640.00	1,778,640.00	0.00		1,452,233.81

TITLE	DATA CENTER OF THE FUTURE - LEASE/PURCHASE CAMPUS INFRASTRUCTURE				
UK ACCT NUMBER	4297292100				
PROJECT NUMBER	72921				
LEGISLATIVE AUTHORIZATION	GA 2018-2020 20IT08				
CURRENT PHASE	Final Closed				
ESTIMATED COMPLETION DATE	5/19/2022				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	1,124,801.97	1,124,801.97	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00		1,124,801.97
Total	1,124,801.97	1,124,801.97	0.00		1,124,801.97

TITLE	CAMPUS CISCO WIRELESS ELA				
UK ACCT NUMBER	4297293600				
PROJECT NUMBER	42936				
LEGISLATIVE AUTHORIZATION	GA 2018-2020 20IT34				
CURRENT PHASE	In-House Work Force				
ESTIMATED COMPLETION DATE	6/30/2024				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	1,659,940.20	1,659,940.20	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00		663,976.08
Total	1,659,940.20	1,659,940.20	0.00		663,976.08

TITLE	ITS SVC CTR INFRASTRUCTURE VXRAIL UPGRADE				
UK ACCT NUMBER	4297294000				
PROJECT NUMBER	72940				
LEGISLATIVE AUTHORIZATION	GA 2020-2022 21IT23				
CURRENT PHASE	In-House Work Force				
ESTIMATED COMPLETION DATE	6/30/2023				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	1,389,462.00	1,389,462.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00		1,389,462.00
Total	1,389,462.00	1,389,462.00	0.00		1,389,462.00

TITLE **5161 NETWORK INFRASTRUCTURE**
 UK ACCT NUMBER 4297295100
 PROJECT NUMBER 72951
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21IT33
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 6/30/2026
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	3,234,108.00	3,234,108.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	1,523,841.28
Total	3,234,108.00	3,234,108.00	0.00	1,523,841.28

TITLE **5158 MEDICAL DEVICE SECURITY**
 UK ACCT NUMBER 4297295700
 PROJECT NUMBER 72957
 LEGISLATIVE AUTHORIZATION GA 2020-2022 22IT06
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 2/9/2024
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	2,062,657.00	2,062,657.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	1,856,760.95
Total	2,062,657.00	2,062,657.00	0.00	1,856,760.95

TITLE **ASH FOULING FREE REGENERATIVE AIR PREHEATER FOR DEEP CYCLIC OPERATION**
 UK ACCT NUMBER 4306100600
 PROJECT NUMBER 61006
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E02
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 2/14/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	423,810.76	423,810.76	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	423,356.01
Total	423,810.76	423,810.76	0.00	423,356.01

TITLE **CAER HARPER OXIDATION OVEN SYSTEM**
 UK ACCT NUMBER 4306100701
 PROJECT NUMBER 61007.1
 LEGISLATIVE AUTHORIZATION GA 2020 - 2022 21E41
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 12/31/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	986,000.00	493,300.00	492,700.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	493,300.00
Total	986,000.00	493,300.00	492,700.00	493,300.00

TITLE CAER RENISHAW INVIA QONTOR SPECTROMETER
 UK ACCT NUMBER 4306100800
 PROJECT NUMBER 61008
 LEGISLATIVE AUTHORIZATION GA 2020 - 2022 21E40
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 1/31/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	237,689.00	237,689.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	237,689.00
Total	237,689.00	237,689.00	0.00	237,689.00

TITLE CAER - INSTSRON 9450 DROP TOWER SYSTEM
 UK ACCT NUMBER 4306100900
 PROJECT NUMBER 61009
 LEGISLATIVE AUTHORIZATION GA 2020-2022 22E11
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 6/30/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	231,215.00	0.00	231,215.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	0.00
Total	231,215.00	0.00	231,215.00	0.00

TITLE ERP PHASE IV, PBF MODULE
 UK ACCT NUMBER 4307081400
 PROJECT NUMBER 70814
 LEGISLATIVE AUTHORIZATION GA 2010-2012 14T01
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 6/30/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	1,964,014.00	1,950,360.00	13,654.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	1,950,360.00
Total	1,964,014.00	1,950,360.00	13,654.00	1,950,360.00

TITLE INTEGRATED CT SIMULATOR FOR BRACHYTHERAPY
 UK ACCT NUMBER 4307084300
 PROJECT NUMBER 70843
 LEGISLATIVE AUTHORIZATION GA 2014-2016 15E22
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 6/30/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	1,349,559.62	1,349,559.62	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	920,898.27
Total	1,349,559.62	1,349,559.62	0.00	920,898.27

TITLE **UNIFIED COMMUNICATIONS MOBILE SOLUTION (IT)-UPGRADE ENTERPRISE INFORMATION SYSTEMS**
 UK ACCT NUMBER 4307086100
 PROJECT NUMBER 70861
 LEGISLATIVE AUTHORIZATION GA 2014-2016 16IT16
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/19/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	2,290,129.76	2,290,129.76	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	2,290,129.76
Total	2,290,129.76	2,290,129.76	0.00	2,290,129.76

TITLE **NAVICARE NURSE CALL 3RD FLOOR 40 BEDS**
 UK ACCT NUMBER 4307086200
 PROJECT NUMBER 70862
 LEGISLATIVE AUTHORIZATION GA 2014-2016 16E17
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/23/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	259,222.82	259,222.82	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	259,222.82
Total	259,222.82	259,222.82	0.00	259,222.82

TITLE **INTEROPERABILITY PHASE I-UPGRADE ENTERPRISE INFORMATION SYSTEMS-UKHC**
 UK ACCT NUMBER 4307086600
 PROJECT NUMBER 70866
 LEGISLATIVE AUTHORIZATION GA 2016-2018 16IT21
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 12/31/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	9,371,076.69	9,371,076.69	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	9,371,076.69
Total	9,371,076.69	9,371,076.69	0.00	9,371,076.69

TITLE **TELEMETRY HARDWARE SOFTWARE MONITORS CHANDLER-CLINICAL INFORMATION SYSTEMS POOL**
 UK ACCT NUMBER 4307086900
 PROJECT NUMBER 70869
 LEGISLATIVE AUTHORIZATION GA 2016-2018 17E06
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 6/30/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	3,098,219.86	3,098,219.86	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	2,726,427.69
Total	3,098,219.86	3,098,219.86	0.00	2,726,427.69

TITLE	UNSTRUCTURED DATA MANAGEMENT SYSTEM-UPGRADE ENTERPRISE INFORMATION SYSTEMS-UKHC
UK ACCT NUMBER	4307087200
PROJECT NUMBER	70872
LEGISLATIVE AUTHORIZATION	GA 2016-2018 17IT10
CURRENT PHASE	In-House Work Force
ESTIMATED COMPLETION DATE	6/30/2023
DISPOSITION OF BALANCES	Original Source
COMMENTS	

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	483,840.00	483,840.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	400,620.16
Total	483,840.00	483,840.00	0.00	400,620.16

TITLE	NURSE CALL REPLACEMENT 5TH-8TH FLOOR PAV H
UK ACCT NUMBER	4307088800,4307088900,4307089000,4307089100
PROJECT NUMBER	70888,70889,70890,70891
LEGISLATIVE AUTHORIZATION	GA 2016-2018 17E29**
CURRENT PHASE	In-House Work Force
ESTIMATED COMPLETION DATE	12/31/2022
DISPOSITION OF BALANCES	Clearing Account
COMMENTS	

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	946,513.87	946,513.87	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	828,731.36
Total	946,513.87	946,513.87	0.00	828,731.36

TITLE	ALLSCRIPTS SURGERY AND ANESTHESIA EHR-CLINICAL INFORMATION SYSTEM POOL
UK ACCT NUMBER	4307090100
PROJECT NUMBER	709010
LEGISLATIVE AUTHORIZATION	GA 2016-2018 18IT05
CURRENT PHASE	In-House Work Force
ESTIMATED COMPLETION DATE	12/31/2022
DISPOSITION OF BALANCES	Original Source
COMMENTS	

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	6,234,794.50	6,234,794.50	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	5,258,063.61
Total	6,234,794.50	6,234,794.50	0.00	5,258,063.61

TITLE	TELEMTRY HDW SFTWR GOOD SAMARITAN-UPGRADE CLINICAL ENTERPRISE NETWORK-UK
UK ACCT NUMBER	4307090200
PROJECT NUMBER	709020
LEGISLATIVE AUTHORIZATION	GA 2016-2018 18IT06
CURRENT PHASE	In-House Work Force
ESTIMATED COMPLETION DATE	12/31/2022
DISPOSITION OF BALANCES	Original Source
COMMENTS	

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	1,293,996.58	1,293,996.58	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	1,274,785.77
Total	1,293,996.58	1,293,996.58	0.00	1,274,785.77

TITLE	INTEROPERABILITY PHASE II - ACQUIRE/UPGRADE - UK HEALTHCARE IT SYSTEMS				
UK ACCT NUMBER	4307092100				
PROJECT NUMBER	70922				
LEGISLATIVE AUTHORIZATION	GA 2016-2018 18IT34				
CURRENT PHASE	Final Closed				
ESTIMATED COMPLETION DATE	5/24/2022				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	4,790,714.19	4,790,714.19	0.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	4,790,714.19	
Total	4,790,714.19	4,790,714.19	0.00	4,790,714.19	

TITLE	PURCHASE AND INSTALL BI-PLANE C-ARM				
UK ACCT NUMBER	4307093000				
PROJECT NUMBER	70930				
LEGISLATIVE AUTHORIZATION	GA 2018-2020 19E03				
CURRENT PHASE	Final Closed				
ESTIMATED COMPLETION DATE	6/14/2022				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	1,368,344.00	1,368,344.00	0.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	1,368,344.00	
Total	1,368,344.00	1,368,344.00	0.00	1,368,344.00	

TITLE	4294 UKGS SOMATOM CT PURCHASE				
UK ACCT NUMBER	4307093400				
PROJECT NUMBER	70934				
LEGISLATIVE AUTHORIZATION	GA 2018-2020 19E08				
CURRENT PHASE	In-House Work Force				
ESTIMATED COMPLETION DATE	12/25/2022				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	1,172,978.00	1,172,978.00	0.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	1,170,646.02	
Total	1,172,978.00	1,172,978.00	0.00	1,170,646.02	

TITLE	4488 SUPPLY REPLENISHMENT SYSTEM				
UK ACCT NUMBER	4307093700				
PROJECT NUMBER	70937				
LEGISLATIVE AUTHORIZATION	GA 2018-2020 19IT20				
CURRENT PHASE	In-House Work Force				
ESTIMATED COMPLETION DATE	12/31/2022				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	2,097,195.00	2,097,195.00	0.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	1,974,404.93	
Total	2,097,195.00	2,097,195.00	0.00	1,974,404.93	

TITLE **GLEEBLE ACQUISITION**
 UK ACCT NUMBER 4307094300
 PROJECT NUMBER 70943
 LEGISLATIVE AUTHORIZATION GA 2018-2020 19E17
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/18/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	722,936.47	722,936.47	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	722,936.47
Total	722,936.47	722,936.47	0.00	722,936.47

TITLE **PURCHASE AGILE FLUOROSCOPY SYSTEM #8358**
 UK ACCT NUMBER 4307094400
 PROJECT NUMBER 70944
 LEGISLATIVE AUTHORIZATION GA 2018-2020 19E18
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/24/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	679,438.39	679,438.39	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	679,438.39
Total	679,438.39	679,438.39	0.00	679,438.39

TITLE **4514 CHEMISTRY AUTOMATION LINE**
 UK ACCT NUMBER 4307094600
 PROJECT NUMBER 70946
 LEGISLATIVE AUTHORIZATION GA 2018-2020 19E21
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/24/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	3,044,212.36	3,044,212.36	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	3,044,212.36
Total	3,044,212.36	3,044,212.36	0.00	3,044,212.36

TITLE **4572 EICU TELEHEALTH - ACQUIRE TELEMEDICINE/VIRTUAL ICU INFO TECH**
 UK ACCT NUMBER 4307094900
 PROJECT NUMBER 70949
 LEGISLATIVE AUTHORIZATION GA 2018-2020
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 12/30/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	7,797,203.57	7,522,584.59	274,618.98	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	7,346,232.98
Total	7,797,203.57	7,522,584.59	274,618.98	7,346,232.98

TITLE **IMPLEMENT EHR PROJECT-REPLACE UKHC IT SYSTEMS 1**
 UK ACCT NUMBER 4307095700, 4307095710
 PROJECT NUMBER 70957.0, 70957.1
 LEGISLATIVE AUTHORIZATION GA 2018 - 2020
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 5/1/2025
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	156,452,165.00	130,797,937.24	25,654,227.76	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	129,682,910.89
Total	156,452,165.00	130,797,937.24	0.00	129,682,910.89

TITLE **4836 M2 DIESEL AMBULANCE PURCHASE**
 UK ACCT NUMBER 4307095800
 PROJECT NUMBER 70958
 LEGISLATIVE AUTHORIZATION GA 2018-2020 20E10
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/24/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	322,291.69	322,291.69	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	322,291.69
Total	322,291.69	322,291.69	0.00	322,291.69

TITLE **MALDI IMAGER; A878033**
 UK ACCT NUMBER 4307096000
 PROJECT NUMBER 70960.0
 LEGISLATIVE AUTHORIZATION GA 2018-2020 20E12
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 12/30/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	198,917.36	198,917.36	0.00	0.00
Private Funds	250,000.00	250,000.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	445,417.36
Total	448,917.36	448,917.36	0.00	445,417.36

TITLE **4876 PURCHASE OF PHILLIPS DIGITAL PATHOLOGY SYSTEM**
 UK ACCT NUMBER 4307096200
 PROJECT NUMBER 70962
 LEGISLATIVE AUTHORIZATION GA 2018-2020 20E14
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 12/30/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	422,712.70	422,712.70	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	373,575.60
Total	422,712.70	422,712.70	0.00	373,575.60

TITLE	PURCHASE BRUKER BIOSPEC CONSOLE FOR EXISTING 7 TESLA MR IMAGING INSTRUMENT				
UK ACCT NUMBER	4307097000				
PROJECT NUMBER	70970				
LEGISLATIVE AUTHORIZATION	GA 2018-2020 20E17				
CURRENT PHASE	Final Closed				
ESTIMATED COMPLETION DATE	5/31/2022				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	932,018.10	932,018.10	0.00	0.00	
Private Funds	82,862.40	82,862.40	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	1,014,880.50	
Total	1,014,880.50	1,014,880.50	0.00	1,014,880.50	

TITLE	5146 PURCHASE ARTIS ZEE ENDO BIPLANE				
UK ACCT NUMBER	4307097100				
PROJECT NUMBER	70971				
LEGISLATIVE AUTHORIZATION	GA 2018-2020 20E24				
CURRENT PHASE	In-House Work Force				
ESTIMATED COMPLETION DATE	12/31/2022				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	535,748.00	535,748.00	0.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	535,748.00	
Total	535,748.00	535,748.00	0.00	535,748.00	

TITLE	5169 ELEKTA GAMMAKNIFE RELOAD				
UK ACCT NUMBER	4307097600				
PROJECT NUMBER	70976				
LEGISLATIVE AUTHORIZATION	GA 2018-2020 20E29				
CURRENT PHASE	In-House Work Force				
ESTIMATED COMPLETION DATE	12/25/2022				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	841,275.00	841,275.00	0.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	804,928.00	
Total	841,275.00	841,275.00	0.00	804,928.00	

TITLE	CAP ID 5230 ABBOT ALINITY M SYSTEM, PPD 10774				
UK ACCT NUMBER	4307097800				
PROJECT NUMBER	70978				
LEGISLATIVE AUTHORIZATION	GA 2018-2020 20E31				
CURRENT PHASE	In-House Work Force				
ESTIMATED COMPLETION DATE	12/31/2022				
DISPOSITION OF BALANCES	Original Source				
COMMENTS					
SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE	
Agency Funds	335,600.00	335,600.00	0.00	0.00	
Private Funds	0.00	0.00	0.00	0.00	
Bond Proceeds	0.00	0.00	0.00	0.00	
Investment Income	0.00	0.00	0.00	0.00	
Other	0.00	0.00	0.00	0.00	
State Funds	0.00	0.00	0.00	0.00	
Expenses	0.00	0.00	0.00	320,897.63	
Total	335,600.00	335,600.00	0.00	320,897.63	

TITLE **4806 PURCHASE OF FLEX ROBOTIC SYSTEM**
 UK ACCT NUMBER 4307097900
 PROJECT NUMBER 70979
 LEGISLATIVE AUTHORIZATION GA 2018-2020 20E33
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 12/25/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	750,000.00	750,000.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	0.00
Total	750,000.00	750,000.00	0.00	0.00

TITLE **BRUKER AVANCE NEO 600 MHZ HIGH PERFORMANCE DIGITAL NMR SPECTROMETER**
 UK ACCT NUMBER 4307098300
 PROJECT NUMBER 70983
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E04
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/18/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	1,449,655.00	1,449,655.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	1,449,655.00
Total	1,449,655.00	1,449,655.00	0.00	1,449,655.00

TITLE **WATERS HDX-GENTRY**
 UK ACCT NUMBER 4307098400
 PROJECT NUMBER 70984
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E05
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 10/1/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	12,107.00	12,107.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	591,893.00	579,786.00	12,107.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	591,893.00
Total	604,000.00	591,893.00	0.00	591,893.00

TITLE **CONFOCAL OLYMPUS FV3000 MICROSCOPE**
 UK ACCT NUMBER 4307098800
 PROJECT NUMBER 70988
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E09
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/18/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	488,009.00	488,009.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	488,009.00
Total	488,009.00	488,009.00	0.00	488,009.00

TITLE **PPD #10731 MARKEY CT SIMULATOR**
 UK ACCT NUMBER 4307098900
 PROJECT NUMBER 70989
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E10
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 1/21/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	1,010,945.50	1,010,945.50	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	1,010,945.50
Total	1,010,945.50	1,010,945.50	0.00	1,010,945.50

TITLE **5382 PET CT CANCER PURCHASE**
 UK ACCT NUMBER 4307099200
 PROJECT NUMBER 70992
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E12
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/18/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	1,640,812.00	1,640,812.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	1,640,812.00
Total	1,640,812.00	1,640,812.00	0.00	1,640,812.00

TITLE **MICROSCALE THERMOPHORETIC-DIANTHUS**
 UK ACCT NUMBER 4307099300
 PROJECT NUMBER 70993
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E15
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 6/24/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	315,504.00	315,504.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	315,504.00
Total	315,504.00	315,504.00	0.00	315,504.00

TITLE **PURCHASE 4870 LC-MS/MS FOR LAB**
 UK ACCT NUMBER 4307099400
 PROJECT NUMBER 70994
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E16
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/24/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	322,504.26	322,504.26	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	322,504.26
Total	322,504.26	322,504.26	0.00	322,504.26

TITLE **PURCHASE 4867 3T MAGNETOM FOR GILL**
 UK ACCT NUMBER 4307099500
 PROJECT NUMBER 70995
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E17
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 12/30/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	1,325,004.00	1,325,004.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	1,229,482.72
Total	1,325,004.00	1,325,004.00	0.00	1,229,482.72

TITLE **4864 #10209 PURCH RENOVATION FOR GILL CT**
 UK ACCT NUMBER 4307099700
 PROJECT NUMBER 70997
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E19
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 1/21/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	1,733,896.65	1,733,896.65	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	1,733,896.65
Total	1,733,896.65	1,733,896.65	0.00	1,733,896.65

TITLE **5186 TYPE I AMBULANCE PURCHASE**
 UK ACCT NUMBER 4307099900
 PROJECT NUMBER 70999
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E21
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/24/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	240,518.50	240,518.50	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	240,518.50
Total	240,518.50	240,518.50	0.00	240,518.50

TITLE **PURCHASE 5149 SPECT CT**
 UK ACCT NUMBER 4307100000
 PROJECT NUMBER 71000
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E22
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 1/20/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	1,603,248.00	1,603,248.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	1,357,023.32
Total	1,603,248.00	1,603,248.00	0.00	1,357,023.32

TITLE **4987 PURCHASE COBAS C502**
 UK ACCT NUMBER 4307100100
 PROJECT NUMBER 7100.1
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E24
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/18/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	349,830.00	349,830.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	349,830.00
Total	349,830.00	349,830.00	0.00	349,830.00

TITLE **5162 BOXPICKERS PHARMACY**
 UK ACCT NUMBER 4307100200
 PROJECT NUMBER 71002
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E25
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 12/25/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	940,970.00	940,970.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	287,814.00
Total	940,970.00	940,970.00	0.00	287,814.00

TITLE **PURCHASE OF INSTRON 2000KPX LOAD FRAME TEST SYSTEM FOR CONCRETE**
 UK ACCT NUMBER 4307100400
 PROJECT NUMBER 71004
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E26
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 6/30/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	335,311.00	335,311.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	335,311.00
Total	335,311.00	335,311.00	0.00	335,311.00

TITLE **BD FACSYPHONY**
 UK ACCT NUMBER 4307100500
 PROJECT NUMBER 71005
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E29
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/18/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	330,452.50	330,452.50	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	330,452.50
Total	330,452.50	330,452.50	0.00	330,452.50

TITLE **ZEISS - AXIOSCAN**
 UK ACCT NUMBER 4307100600
 PROJECT NUMBER 71006
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E28
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/23/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	268,226.60	268,226.60	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	268,226.60
Total	268,226.60	268,226.60	0.00	268,226.60

TITLE **5569 TEE ULTRASOUND PURCHASE**
 UK ACCT NUMBER 4307100700
 PROJECT NUMBER 71007
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E30
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/24/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	216,199.00	216,199.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	216,199.00
Total	216,199.00	216,199.00	0.00	216,199.00

TITLE **5276 OEC C-ARMS**
 UK ACCT NUMBER 4307100800
 PROJECT NUMBER 71008
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E31
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/18/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	499,380.00	499,380.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	499,380.00
Total	499,380.00	499,380.00	0.00	499,380.00

TITLE **5160 STORAGE INFRASTRUCTURE**
 UK ACCT NUMBER 4307101000
 PROJECT NUMBER 71001
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21IT32
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 12/31/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	1,396,081.45	1,396,081.45	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	1,381,481.80
Total	1,396,081.45	1,396,081.45	0.00	1,381,481.80

TITLE **5292 GEONOMICS SEQUENCING SYSTEMS**
 UK ACCT NUMBER 4307101100
 PROJECT NUMBER 71011
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E34
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 4/1/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	586,440.40	586,440.40	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	512,405.40
Total	586,440.40	586,440.40	0.00	512,405.40

TITLE **CALM AGILANT 6546 Q-TOF LCMS SYSTEM**
 UK ACCT NUMBER 4307101200
 PROJECT NUMBER 71012
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E35
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/18/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	347,477.52	347,477.52	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	347,477.52
Total	347,477.52	347,477.52	0.00	347,477.52

TITLE **NOVASEQ**
 UK ACCT NUMBER 4307101300
 PROJECT NUMBER 71013
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E36
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 6/30/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	938,903.10	938,903.10	0.00	0.00
Private Funds	30,000.00	30,000.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	968,903.10
Total	968,903.10	968,903.10	0.00	968,903.10

TITLE **5719 ELITE C-ARMS**
 UK ACCT NUMBER 4307101400
 PROJECT NUMBER 71014
 LEGISLATIVE AUTHORIZATION GA 2020 - 2022 21E37
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 9/1/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	497,654.00	497,654.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	0.00
Total	497,654.00	497,654.00	0.00	0.00

TITLE **XTREMECT II**
 UK ACCT NUMBER 4307101500
 PROJECT NUMBER 71015
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E39
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 9/30/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	10,000.00	10,000.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	430,000.00	405,000.00	25,000.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	415,000.00
Total	440,000.00	415,000.00	25,000.00	415,000.00

TITLE **FISHER SCIENTIFIC - ORBITRAP EXLORIS 240 BASIC**
 UK ACCT NUMBER 4307101700
 PROJECT NUMBER 71017
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E42
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 12/1/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	3,852.45	3,852.45	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	444,062.00	444,062.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	447,914.45
Total	447,914.45	447,914.45	0.00	447,914.45

TITLE **FISHER SCIENTIFIC - TSQ ALTIS PLUS**
 UK ACCT NUMBER 4307101800
 PROJECT NUMBER 71018
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E43
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 12/31/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	322,132.14	322,132.14	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	322,132.14
Total	322,132.14	322,132.14	0.00	322,132.14

TITLE **NEXTGEN MATPRO TECH - EQUIPMENT**
 UK ACCT NUMBER 4307101900
 PROJECT NUMBER 71019
 LEGISLATIVE AUTHORIZATION GA 2020-2022 21E44
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 5/4/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	742,879.00	520,015.30	222,863.70	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	520,015.30
Total	742,879.00	520,015.30	222,863.70	520,015.30

TITLE	NEXTGEN MATPRO TECH - EQUIPMENT - BRUKER AXS
UK ACCT NUMBER	4307102000
PROJECT NUMBER	71020
LEGISLATIVE AUTHORIZATION	GA 2020-2022 21E45
CURRENT PHASE	In-House Work Force
ESTIMATED COMPLETION DATE	5/4/2023
DISPOSITION OF BALANCES	Original Source
COMMENTS	

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	317,729.00	95,318.70	222,410.30	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	95,318.70
Total	317,729.00	95,318.70	222,410.30	95,318.70

TITLE	REAL TIME DIGITAL SIMULATOR AND AMPLIFIER
UK ACCT NUMBER	4307102100
PROJECT NUMBER	71021
LEGISLATIVE AUTHORIZATION	GA 2020-2022 21E46
CURRENT PHASE	In-House Work Force
ESTIMATED COMPLETION DATE	9/27/2022
DISPOSITION OF BALANCES	Original Source
COMMENTS	

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	686,816.40	686,816.40	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	686,816.40
Total	686,816.40	686,816.40	0.00	686,816.40

TITLE	NEXTGEN MATPRO TECH - D8 ADVANCE
UK ACCT NUMBER	4307102200
PROJECT NUMBER	71022
LEGISLATIVE AUTHORIZATION	GA 2020-2022 22E01
CURRENT PHASE	In-House Work Force
ESTIMATED COMPLETION DATE	9/30/2022
DISPOSITION OF BALANCES	Original Source
COMMENTS	

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	255,367.00	153,220.20	102,146.80	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	153,220.20
Total	255,367.00	153,220.20	102,146.80	153,220.20

TITLE	NEXTGEN MATPRO TECH - MELD EQUIPMENT PURCHASE
UK ACCT NUMBER	4307102210
PROJECT NUMBER	71002.1
LEGISLATIVE AUTHORIZATION	GA 2020-2022 22E12
CURRENT PHASE	In-House Work Force
ESTIMATED COMPLETION DATE	11/4/2022
DISPOSITION OF BALANCES	Original Source
COMMENTS	

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	607,500.00	480,000.00	127,500.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	480,000.00
Total	607,500.00	480,000.00	127,500.00	480,000.00

TITLE **5418 NANOKNIFE**
 UK ACCT NUMBER 4307102300
 PROJECT NUMBER 71023
 LEGISLATIVE AUTHORIZATION GA 2020-2022 22E02
 CURRENT PHASE Final Closed
 ESTIMATED COMPLETION DATE 5/18/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	406,000.00	406,000.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	406,000.00
Total	406,000.00	406,000.00	0.00	406,000.00

TITLE **LIFE TECHNOLOGIES - BIGFOOT 5 SPECTRAL CELL SORTER**
 UK ACCT NUMBER 4307102400
 PROJECT NUMBER 71024
 LEGISLATIVE AUTHORIZATION GA 2020 - 2022 22E03
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 12/1/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	701,715.91	701,715.91	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	0.00
Total	701,715.91	701,715.91	0.00	0.00

TITLE **5379 MOBILE HEALTH UNIT**
 UK ACCT NUMBER 4307102500
 PROJECT NUMBER 71025
 LEGISLATIVE AUTHORIZATION GA 2020 - 2022 22E04
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 1/19/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	289,340.52	289,340.52	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	144,670.26
Total	289,340.52	289,340.52	0.00	144,670.26

TITLE **5783 C-ARM**
 UK ACCT NUMBER 4307102600
 PROJECT NUMBER 71026
 LEGISLATIVE AUTHORIZATION GA 2020-2022 22E05
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 2/1/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	202,593.50	202,593.50	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	0.00
Total	202,593.50	202,593.50	0.00	0.00

TITLE **11257 CARDINAL HILL ZERO G AND TREADMILL**
 UK ACCT NUMBER 4307102700
 PROJECT NUMBER 71027
 LEGISLATIVE AUTHORIZATION GA 2020 - 2022 22E07
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 2/15/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	565,000.00	565,000.00	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	0.00
Total	565,000.00	565,000.00	0.00	0.00

TITLE **5746 FLOW CYTOMETER**
 UK ACCT NUMBER 4307102800
 PROJECT NUMBER 71028
 LEGISLATIVE AUTHORIZATION GA 2020-2022 22E09
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 3/10/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	217,943.74	217,943.74	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	0.00
Total	217,943.74	217,943.74	0.00	0.00

TITLE **CYTEK AURORA 5 CELL SORTER**
 UK ACCT NUMBER 4307102900
 PROJECT NUMBER 71029
 LEGISLATIVE AUTHORIZATION GA 2020 - 2022 22E10
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 12/21/2022
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	455,657.50	455,657.50	0.00	0.00
Private Funds	0.00	0.00	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	420,872.50
Total	455,657.50	455,657.50	0.00	420,872.50

TITLE **OPAL-RT SIMULATOR**
 UK ACCT NUMBER 4307103000
 PROJECT NUMBER 71030
 LEGISLATIVE AUTHORIZATION GA 2020 - 2022 22E13
 CURRENT PHASE In-House Work Force
 ESTIMATED COMPLETION DATE 6/30/2023
 DISPOSITION OF BALANCES Original Source
 COMMENTS

SOURCE	*SCOPE	ALLOTMENTS TO DATE	STILL REQUIRED	EXPENSES TO DATE
Agency Funds	0.00	0.00	0.00	0.00
Private Funds	206,534.25	206,534.25	0.00	0.00
Bond Proceeds	0.00	0.00	0.00	0.00
Investment Income	0.00	0.00	0.00	0.00
Other	0.00	0.00	0.00	0.00
State Funds	0.00	0.00	0.00	0.00
Expenses	0.00	0.00	0.00	0.00
Total	206,534.25	206,534.25	0.00	0.00

*Scope - The scope designated represents the UK Capital Projects Management Division project estimate, or vendor quote, which may be less but not greater than the authorization made within the enacted House Bill or that line item authorization depicted in the Budget of the Commonwealth, and approved by the University Board of Trustees.

University of Louisville

**Capital Construction Projects
Reports**

June 30, 2022

Capital Construction Status

UNIVERSITY OF LOUISVILLE

June 30, 2022

SUMMARY OF PROJECT REQUIREMENTS

Total Project Estimates \$492,819,651

Total Expenditures to Date \$233,803,622

\$259,016,029

Available Budget to Meet Expectations \$302,265,964

Allotments Still Required \$190,553,687

\$492,819,651

- As indicated in the Budgets of the Commonwealth, capital projects shown with Agency Bonds as the source of funds depends upon balances in agency receipts being available before any project can be commenced.

Title	Construct Belknap Classroom/Academic Building
Identification Number	J2103
Legislative Authorization	HB 235
Current Phase	In Construction
Estimated Completion Date	November 2020
Estimated Project Cost	\$80,560,000
Total Allotments to Date	\$80,560,000
Source of Allotments to Date	State Bonds
Total Allotments Still Required	N/A
Source of Allotments Still Required	\$0
Expenditures to Date	\$80,559,447
Explanation of Major Transfers	N/A
Additional Information	Additional project in building courtyard in final stage of completion.

Title	Renovate Ekstrom Library
Identification Number	J5966, J6109, J5477, J6078
Legislative Authorization	HB 235
Current Phase	In Construction
Estimated Completion Date	Unknown
Estimated Project Cost	\$58,076,000
Total Allotments to Date	\$9,419,783
Source of Allotments to Date	Restricted
Total Allotments Still Required	\$48,656,217
Source of Allotments Still Required	Restricted
Expenditures to Date	\$8,860,005
Explanation of Major Transfers	N/A
Additional Information	Project being completed in phases as funding is identified.

Title	Regional Biocontainment Laboratory Pressurization Upgrade
Identification Number	J6124
Legislative Authorization	HB 192
Current Phase	In construction
Estimated Completion Date	08/30/25
Estimated Project Cost	\$10,868,800
Total Allotments to Date	\$2,500,000
Source of Allotments to Date	Restricted
Total Allotments Still Required	\$8,368,800
Source of Allotments Still Required	Restricted
Expenditures to Date	\$793,868
Explanation of Major Transfers	N/A
Additional Information	Upgrade work conducted during shutdown over winter break over multiple years.

Title	College of Education HVAC Upgrade
Identification Number	J6234
Legislative Authorization	HB 1
Current Phase	In construction
Estimated Completion Date	03/30/23
Estimated Project Cost	\$2,200,000
Total Allotments to Date	\$ 405,311
Source of Allotments to Date	Restricted
Total Allotments Still Required	\$1,794,689
Source of Allotments Still Required	Restricted
Expenditures to Date	\$ 260,760
Explanation of Major Transfers	N/A
Additional Information	Project being implemented in phase as funds are identified.

Title	Replace HVAC Various Buildings
Identification Number	Various
Legislative Authorization	HB 200, HB 192
Current Phase	In Construction – Phase 1 and 2
Estimated Completion Date	06/30/24
Estimated Project Cost	\$25,000,000
Total Allotments to Date	\$3,699,899
Source of Allotments to Date	Restricted
Total Allotments Still Required	\$21,300,100
Source of Allotments Still Required	Restricted
Expenditures to Date	\$2,855,209
Explanation of Major Transfers	N/A
Additional Information	HVAC system updates in College of Business and Research Resource Center. Other building systems to be replaced when funds identified.

Title	Upgrade and Expand WiFi and Cellular Services at Cardinal Stadium
Identification Number	J5766
Legislative Authorization	CPBOC December 2019
Current Phase	In Construction
Estimated Completion Date	12/31/22
Estimated Project Cost	\$4,000,000
Total Allotments to Date	\$4,000,000
Source of Allotments to Date	Other
Total Allotments Still Required	\$0
Source of Allotments Still Required	Other
Expenditures to Date	\$0
Explanation of Major Transfers	N/A
Additional Information	N/A

Title	Medical Tower - Vivarium
Identification Number	OGMB200713
Legislative Authorization	HB 200
Current Phase	Contract Awarded
Estimated Completion Date	12/31/2024
Estimated Project Cost	\$8,000,000
Total Allotments to Date	\$8,000,000
Source of Allotments to Date	NIH Grant and Restricted Funds
Total Allotments Still Required	\$0
Source of Allotments Still Required	NIH Grant and Restricted funds
Expenditures to Date	\$176,524
Explanation of Major Transfers	N/A
Additional Information	N/A

Title	Renovation and Adaptation Projects for Various Buildings
Identification Number	J6226
Legislative Authorization	HB 200
Current Phase	In construction – Phase 1
Estimated Completion Date	12/31/22
Estimated Project Cost	\$50,000,000
Total Allotments to Date	\$1,600,000
Source of Allotments to Date	Restricted
Total Allotments Still Required	\$48,400,000
Source of Allotments Still Required	Restricted
Expenditures to Date	\$725,384
Explanation of Major Transfers	N/A
Additional Information	Phase 1 – Renovate space in building 55A for Audiology.

Title	Renovate Parking Structure
Identification Number	J6142, 40007
Legislative Authorization	HB 200
Current Phase	In Construction
Estimated Completion Date	09/30/22
Estimated Project Cost	\$3,600,000
Total Allotments to Date	\$3,600,000
Source of Allotments to Date	Restricted
Total Allotments Still Required	\$0
Source of Allotments Still Required	Restricted
Expenditures to Date	\$0
Explanation of Major Transfers	N/A
Additional Information	N/A

Title	Athletic Enhancements in new Dormitory
Identification Number	Athletic Account
Legislative Authorization	CPBOC – 9/23/21
Current Phase	In construction
Estimated Completion Date	12/31/22
Estimated Project Cost	\$6,000,000
Total Allotments to Date	\$4,608,891
Source of Allotments to Date	Other
Total Allotments Still Required	\$1,391,109
Source of Allotments Still Required	Other
Expenditures to Date	\$4,608,891
Explanation of Major Transfers	N/A
Additional Information	N/A

Title	Cardinal Stadium Club Upgrade
Identification Number	J5769
Legislative Authorization	CPBOC-11/18/21
Current Phase	In construction
Estimated Completion Date	3/31/23
Estimated Project Cost	\$6,000,000
Total Allotments to Date	\$6,000,000
Source of Allotments to Date	Other
Total Allotments Still Required	\$0
Source of Allotments Still Required	Other
Expenditures to Date	\$1,712,348
Explanation of Major Transfers	N/A
Additional Information	N/A

Title	Replace HVAC Various Buildings
Identification Number	J6216
Legislative Authorization	HB 352, HB 192
Current Phase	In Construction
Estimated Completion Date	6/30/22
Estimated Project Cost	\$25,000,000
Total Allotments to Date	\$5,308,836
Source of Allotments to Date	Restricted Funds
Total Allotments Still Required	\$19,691,164
Source of Allotments Still Required	N/A
Expenditures to Date	\$4,029,967
Explanation of Major Transfers	N/A
Additional Information	Projects initiated in phases in various buildings as funds are identified. Two buildings have needed HVAC work: Research Resource Center and College of Business

Title	Renovate and Expand J.B. Speed Building
Identification Number	J6217
Legislative Authorization	HB 200
Current Phase	In Construction
Estimated Completion Date	6/30/24
Estimated Project Cost	\$18,700,000
Total Allotments to Date	\$ 1,608,937
Source of Allotments to Date	Restricted Funds
Total Allotments Still Required	\$17,091,063
Source of Allotments Still Required	N/A
Expenditures to Date	\$1,174,758
Explanation of Major Transfers	N/A
Additional Information	Projects are being implemented in phases.

Title	Renovate School of Nursing Building
Identification Number	G3321, J6223, J6072
Legislative Authorization	HB 352
Current Phase	Complete / In Warranty – Phase 1 In construction – Phase 2
Estimated Completion Date	September 2021 – Phase 1 December 2022 – Phase 2
Estimated Project Cost	\$11,380,000
Total Allotments to Date	\$1,849,455
Source of Allotments to Date	Other Funds / Restricted Funds
Total Allotments Still Required	\$9,530,545
Source of Allotments Still Required	Other Funds / Restricted funds
Expenditures to Date	\$1,460,335
Explanation of Major Transfers	N/A
Additional Information	Building renovations being implemented in phases as funds are identified. Phase 1 and 2 funded by Donor

Title	Construct 2 Housing Dorms
Identification Number	J6214 and J6225
Legislative Authorization	HB 200
Current Phase	In Construction
Estimated Completion Date	Aug-2022
Estimated Project Cost	\$90,000,000
Total Allotments to Date	\$82,600,000
Source of Allotments to Date	Agency Bonds
Total Allotments Still Required	\$7,400,000
Source of Allotments Still Required	N/A
Expenditures to Date	\$75,149,909
Explanation of Major Transfers	N/A
Additional Information	Housing 1 in service, final invoices being processed Housing 2 in service, punchlist and final procedures in process to complete project.

Title	Robotic Book Retrieval System Expansion
Identification Number	J6076
Legislative Authorization	HB 200
Current Phase	In process
Estimated Completion Date	10/30/18
Estimated Project Cost	\$4,900,000
Total Allotments to Date	\$2,000,000
Source of Allotments to Date	Restricted
Total Allotments Still Required	\$2,900,000
Source of Allotments Still Required	Restricted
Expenditures to Date	\$2,024,244
Explanation of Major Transfers	N/A
Additional Information	Project on hold until funding has been identified.

Title	Replace Seats in Athletic Venues
Identification Number	Athletic Account
Legislative Authorization	HB 352
Current Phase	In construction
Estimated Completion Date	6/30/22
Estimated Project Cost	\$7,000,000
Total Allotments to Date	\$7,000,000
Source of Allotments to Date	Other
Total Allotments Still Required	N/A
Source of Allotments Still Required	Other
Expenditures to Date	\$1,288,048
Explanation of Major Transfers	N/A
Additional Information	N/A

Title	Cardinal Stadium Seat Painting
Identification Number	J5764
Legislative Authorization	HB 200
Current Phase	Complete / Closed Out
Estimated Completion Date	03/01/21
Estimated Project Cost	\$5,460,000
Total Allotments to Date	\$1,430,000
Source of Allotments to Date	Other
Total Allotments Still Required	\$4,030,000
Source of Allotments Still Required	Other
Expenditures to Date	\$1,430,000
Explanation of Major Transfers	N/A
Additional Information	Seats were painted instead of replaced.

Title	Resurface & Repair Parking Lot
Identification Number	40007
Legislative Authorization	HB 352
Current Phase	Complete / In Warranty
Estimated Completion Date	06/30/22
Estimated Project Cost	\$2,500,000
Total Allotments to Date	\$2,500,000
Source of Allotments to Date	Restricted
Total Allotments Still Required	N/A
Source of Allotments Still Required	Restricted
Expenditures to Date	\$261,657
Explanation of Major Transfers	N/A
Additional Information	N/A

Title	Replace Artificial Turf Field III
Identification Number	Athletic Account
Legislative Authorization	HB192
Current Phase	In construction
Estimated Completion Date	6/30/23
Estimated Project Cost	\$1,250,000
Total Allotments to Date	\$1,250,000
Source of Allotments to Date	Other
Total Allotments Still Required	\$0
Source of Allotments Still Required	Other
Expenditures to Date	\$0
Explanation of Major Transfers	N/A
Additional Information	N/A

Title	Replace Electronic Video Boards
Identification Number	J5756
Legislative Authorization	HB 200, HB 192
Current Phase	In Construction
Estimated Completion Date	06/30/22
Estimated Project Cost	\$2,000,000
Total Allotments to Date	\$2,000,000
Source of Allotments to Date	Other
Total Allotments Still Required	\$0
Source of Allotments Still Required	Other
Expenditures to Date	\$1,554,086
Explanation of Major Transfers	N/A
Additional Information	N/A

Title	Construct HSC Parking Structure II
Identification Number	J2055
Legislative Authorization	2006-2008 Budget
Current Phase	In process
Estimated Completion Date	12/30/24
Estimated Project Cost	\$30,700,000
Total Allotments to Date	\$30,700,000
Source of Allotments to Date	Other
Total Allotments Still Required	\$0
Source of Allotments Still Required	N/A
Expenditures to Date	\$30,252,957
Explanation of Major Transfers	N/A
Additional Information	Space to be built out on the first floor. Study being conducted to identify best option.

Title	Purchase Next Generation/ERP Support System
Identification Number	IT Account
Legislative Authorization	HB 352
Current Phase	In process
Estimated Completion Date	12/31/23
Estimated Project Cost	\$20,000,000
Total Allotments to Date	\$20,000,000
Source of Allotments to Date	Restricted
Total Allotments Still Required	\$0
Source of Allotments Still Required	Restricted
Expenditures to Date	\$7,689,720
Explanation of Major Transfers	N/A
Additional Information	N/A

Title	Purchase Identity Management
Identification Number	IT Account
Legislative Authorization	HB 352
Current Phase	Complete / In Warranty
Estimated Completion Date	5/30/22
Estimated Project Cost	\$2,000,000
Total Allotments to Date	\$2,000,000
Source of Allotments to Date	Restricted
Total Allotments Still Required	\$0
Source of Allotments Still Required	Restricted
Expenditures to Date	\$796,107
Explanation of Major Transfers	N/A
Additional Information	N/A

Title	Purchase Network System
Identification Number	IT Account
Legislative Authorization	HB 200
Current Phase	In process
Estimated Completion Date	June-21
Estimated Project Cost	\$8,000,000
Total Allotments to Date	\$8,000,000
Source of Allotments to Date	Restricted
Total Allotments Still Required	\$0
Source of Allotments Still Required	Restricted
Expenditures to Date	\$2,938,546
Explanation of Major Transfers	N/A
Additional Information	N/A

Title	Purchase Research Computing Infrastructure
Identification Number	IT Account
Legislative Authorization	HB 200
Current Phase	In process
Estimated Completion Date	12/31/22
Estimated Project Cost	\$7,000,000
Total Allotments to Date	\$7,000,000
Source of Allotments to Date	Restricted
Total Allotments Still Required	\$0
Source of Allotments Still Required	Restricted
Expenditures to Date	\$ 576,001
Explanation of Major Transfers	N/A
Additional Information	Project being implemented in phases

Title	Olympus FLUOVIEW FVMPE-RS Multiphoton Laser Scanning Microscope
Identification Number	A-Olympus
Legislative Authorization	CPBOC –1/2022
Current Phase	Complete
Estimated Completion Date	January 2022
Estimated Project Cost	\$489,745.51
Total Allotments to Date	\$489,745.51
Source of Allotments to Date	Grant
Total Allotments Still Required	N/A
Source of Allotments Still Required	N/A
Expenditures to Date	\$489,745.51
Explanation of Major Transfers	N/A
Additional Information	Equipment

Title	Hyperion Imaging System Mass Cytometry
Identification Number	Imaging
Legislative Authorization	CPBOC – January 2022
Current Phase	Complete
Estimated Completion Date	January 2022
Estimated Project Cost	\$564,840
Total Allotments to Date	\$564,840
Source of Allotments to Date	Grant
Total Allotments Still Required	N/A
Source of Allotments Still Required	N/A
Expenditures to Date	\$564,840
Explanation of Major Transfers	N/A
Additional Information	Equipment

Title	NextSeq 2000 Sequencing System
Identification Number	A-NextSeq
Legislative Authorization	CPBOC – 05/19/22
Current Phase	Complete
Estimated Completion Date	May 2022
Estimated Project Cost	\$445,471
Total Allotments to Date	\$445,471
Source of Allotments to Date	KY-INBRE Program
Total Allotments Still Required	N/A
Source of Allotments Still Required	N/A
Expenditures to Date	\$445,471
Explanation of Major Transfers	N/A
Additional Information	Equipment

Title	Oxford Instruments PlasmaPro 100
Identification Number	A-Oxford
Legislative Authorization	CPBOC – 12/15/21
Current Phase	Complete
Estimated Completion Date	December 2021
Estimated Project Cost	\$750,000
Total Allotments to Date	\$750,000
Source of Allotments to Date	Department Accounts and National Network Coordinated Infrastructure Grant
Total Allotments Still Required	N/A
Source of Allotments Still Required	N/A
Expenditures to Date	\$750,000
Explanation of Major Transfers	N/A
Additional Information	Equipment

Title	Agilent Cytation C10 Confocal Imaging Reader
Identification Number	A-Agilent
Legislative Authorization	CPBOC – 05/19/2022
Current Phase	Complete
Estimated Completion Date	May 2022
Estimated Project Cost	\$374,795
Total Allotments to Date	\$374,795
Source of Allotments to Date	NIH Grant
Total Allotments Still Required	N/A
Source of Allotments Still Required	N/A
Expenditures to Date	\$374,795
Explanation of Major Transfers	N/A
Additional Information	N/A

Summary of the General Receipts Bonds and Other State Bonds

Clearing Accounts:

UL 2016 Series A
Account Number – C6Q6
Established: April 2016
Balance - \$0
Source of Funds – General Receipts 2016 Series A

UL 2016 Series A
Account Number – C85C
Established: April 2016
Balance - \$0
Source of Funds – General Receipts 2016 Series A

Belknap Classroom/Academic Building
Account Number – C78R
Established: January 2016
Balance - \$0
Source of Funds – State Appropriation

UL 2016 Series D & E
Account Number – C8HQ
Established: April 2016
Balance - \$0
Source of Funds – General Receipts 2016 Series D & E

Papa John's Stadium/Football Complex
Account Number – C8HR
Established: April 2016
Balance - \$0
Source of Funds – General Receipts 2016 Series D & E

Residence Hall 2020 Series A
Account Number – C9TY
Established: June 2020
Balance - \$15,103.63
Source of Funds – General Receipts 2020 Series A Clearing Acct

Residence Hall 2020 Series A
Account Number – C9TZ
Established: June 2020
Balance - \$8,916,069.44
Source of Funds – General Receipts 2020 Series A

Refunding Bond 2021 Series A
Account Number – C9TZ
Established: June 2021
Balance - \$
Source of Funds – General Receipts 2021 Series A

Residence Hall 2021 Series B
Account Number – C9TZ
Established: June 2021
Balance - \$
Source of Funds – General Receipts 2021 Series B

WESTERN KENTUCKY UNIVERSITY

Capital Construction Projects Report; Per KRS 45.760 (9)

June 30th, 2022

Capital Construction Status
Projects Not Completed
Western Kentucky University
June 30th, 2022

SUMMARY OF PROJECT REQUIREMENTS

Total Project Estimates	\$213,107,716.23
Total Expenditures to Date	\$ 39,309,111.64
Available Allotment to Meet Expectations	\$ 50,364,976.70
Allotments Still Required	\$162,742,167.49

Title	Renovate Helm Library to WKU Commons at Helm Library
Identification Number	2014.0012-929707
Legislative Authorization	HB 200; \$68,300,000
Current Phase	Warranty
Estimated Completion Date	March 31, 2022
Estimated Project Cost	\$37,500,000
Total Allotments to Date	\$37,042,591.02
Source of Allotments to Date	Restricted
Total Allotments Still Required	\$457,408.98
Source of Allotments Still Required	Restricted
Expenditures to Date	\$35,303,882.23
Explanation of Major Transfers	n/a
Additional Information	Project has been completed and is in Warranty Phase until March 31, 2023

Title	Replace Underground Infrastructure – Steam Line Repairs 2022
Identification Number	2020-0012-929898
Legislative Authorization	HB 192; \$25,000,000
Current Phase	Warranty period through September 2023
Estimated Completion Date	September 2022
Estimated Project Cost	\$1,860,016.23
Total Allotments to Date	\$1,860,016.23
Source of Allotments to Date	Restricted
Total Allotments Still Required	\$0
Source of Allotments Still Required	Restricted
Expenditures to Date	\$1,054,572.04
Explanation of Major Transfers	n/a
Additional Information	Project Complete; Warranty

Title	Demolish Garrett Conference Center/Improve Site
Identification Number	2017-0012-929887
Legislative Authorization	HB 352; \$7,000,000
Current Phase	In-Construction
Estimated Completion Date	December 2022
Estimated Project Cost	\$5,650,000
Total Allotments to Date	\$4,497,757.22
Source of Allotments to Date	Restricted
Total Allotments Still Required	\$1,152,242.78
Source of Allotments Still Required	Restricted
Expenditures to Date	\$1,786,036.95
Explanation of Major Transfers	n/a
Additional Information	Project is being done in phases; Demolition of Garrett Conference Center completed September 2021; Construction Phase is in process with anticipated completion of entire project by end of Spring 2023.

Title	Asset Preservation Pool – 2022-2024
Identification Number	2022-0012-Multiple Project Index
Legislative Authorization	22 RS HB 1; \$34,040,000 Bond Funds; \$5,106,000 Restricted
Current Phase	Planning, Design, Construction
Estimated Completion Date	Multi-Phase Multi-Year
Estimated Project Cost	\$39,146,000
Total Allotments to Date	\$5,106,000
Source of Allotments to Date	Restricted
Total Allotments Still Required	\$34,040,000
Source of Allotments Still Required	Bond Funds
Expenditures to Date	TBD
Explanation of Major Transfers	n/a
Additional Information	Multiple Asset Preservation project indexes (929XXX) are being set up to track each project individually under this authority.

Title	New Gordon Ford College of Business
Identification Number	2022-0012-929911
Legislative Authorization	22 RS HB 1; \$74,400,000
Current Phase	Design
Estimated Completion Date	Fall of 2025
Estimated Project Cost	\$74,400,000
Total Allotments to Date	\$700,000.00
Source of Allotments to Date	Restricted
Total Allotments Still Required	\$74,400,000
Source of Allotments Still Required	State Bonds July 1, 2023
Expenditures to Date	\$722,608.62
Explanation of Major Transfers	n/a
Additional Information	Design has been started utilizing restricted funds so that the university can start construction when bond funding becomes available July 1, 2023.

Title	Improve Softball Soccer Complex
Identification Number	2022-0012-929909
Legislative Authorization	22 RS HB 1; \$5,500,000
Current Phase	In-Construction
Estimated Completion Date	June 2023
Estimated Project Cost	\$4,551,700
Total Allotments to Date	\$2,213,184.27
Source of Allotments to Date	Restricted
Total Allotments Still Required	\$2,338,515.73
Source of Allotments Still Required	Restricted
Expenditures to Date	\$442,011.80
Explanation of Major Transfers	n/a
Additional Information	n/a

Title	Construct, Renovate and Improve Athletic Facilities Reauthorization – Hilltopper Fieldhouse and Press box
Identification Number	2022-0012-929930, 929931
Legislative Authorization	RS22 HB 1; \$50,000,000
Current Phase	Planning/Design
Estimated Completion Date	TBD
Estimated Project Cost	\$50,000,000
Total Allotments to Date	\$0
Source of Allotments to Date	Agency Bonds
Total Allotments Still Required	\$50,000,000
Source of Allotments Still Required	Agency Bond Funds
Expenditures to Date	\$0
Explanation of Major Transfers	n/a
Additional Information	Bonds have been issued

Reference: KRS 45.760 Limitations on project and equipment expenditures in State Capital Construction Program.

On or before October 1, each branch of government shall submit to the committee the following information:

- (a) A complete list and summary description of every capital construction project and major item of equipment not completed as of June 30 of the prior fiscal year; and
- (b) For each project and major item of equipment, as of July 1, of the current fiscal year:
 1. The project phase;
 2. The project account number, project name, and any other term employed to identify the project or major item of equipment;
 3. The available balance in the project or major item of equipment account, and any sums considered available for that project or major item of equipment;
 4. A statement of the transfers of funds to or from the project or major item of equipment account; and, any account to which transfers from each project or major item of equipment has been made;
 5. The year in which the project or major item of equipment was approved, with specific reference to the legislation by which the project or item was approved;

6. Total expenditure on the project or major item of equipment;
 7. The current estimated completion cost, including the amount required for annual inflation; and
 8. A statement that additional funds for the completion of the project or major item of equipment are or are not required; and, if required, why sufficient funds for completion are not available; and
- (c) The balance in the appropriated, but unallotted account; and the balance in any account, however designated, that contains appropriated, but unallotted funds for capital construction.



September 29, 2022

Capital Projects and Bond Oversight Committee
702 Capital Avenue, Room 34, Capitol Annex
Frankfort, KY 40601

RE: \$3,500,000 Bardstown Ind. School District Finance Corporation
Energy Conservation Revenue Bonds, Series of 2022

Please find enclosed a Bond Payee Disclosure Form and Plan of Financing related to the above-referenced series of Bonds. The Bonds will be used to finance district-wide energy improvements.

We would like to go ahead and submit the plan to Bond Oversight so that we will be ready to proceed with the bond sale shortly. The Bonds will be funded with 100% General Fund savings.

Please process this bond disclosure form for review by the Bond Oversight Committee at the next meeting. Should you have any questions or require any additional information, please contact our office.

Sincerely,

A handwritten signature in black ink, appearing to read 'L Theinert', with a long horizontal flourish extending to the right.

Lincoln Theinert

Enclosures

147 East Third Street
Lexington, KY
40508

859/977-6600

fax: 859/381-1357

www.rsamuni.com

BOND PAYEE DISCLOSURE FORM

Par Amount:	\$3,500,000	
District	Bardstown Independent Schools	
Issue Name:	Energy Conservation Revenue Bonds, Series 2022	
Purpose:	District Wide Energy Improvements	
Projected Sale Date of Bonds:	Q4 2022	
First Call Date:	8 Years at par	
Method of Sale:	Competitive Bids	
Place/time of sale:	Parity /SFCC, Frankfort, Ky. / TBD	
Bond Rating:	Moody's: "A1"	
Bond Counsel:	Steptoe and Johnson, Louisville, KY	
Fiscal Agent:	RSA Advisors LLC, Lexington, Kentucky	
Date received by SFCC:	/ /	<i>To be filled in by SFCC</i>
Date scheduled for Committee review:	/ /	<i>To be filled in by SFCC</i>

	SFCC Portion	Local Portion	Total
Estimated par amount of Bonds:	\$0	\$3,500,000	\$3,500,000
% Share of total Bonds:	0.00%	100.00%	100.00%
Estimated average annual debt service:	\$0	\$266,249	\$266,249
Estimated debt service reserve:	\$0	\$0	\$0

Estimated Cost of Issuance:

Fiscal Agent, Bond Counsel, Advertisements, Printing, Etc)	\$0	\$27,000	\$27,000
Special Tax Counsel	\$0	\$0	\$0
Number verifications	\$0	\$0	\$0
Bond Rating & Bank Fee	\$0	\$14,850	\$14,850
Underwriter's Discount	\$0	\$70,000	\$70,000
Credit Enhancement	\$0	\$0	\$0
Total Cost of Issuance:	\$0	\$111,850	\$111,850

Anticipated Interest Rates:

5 Years: 3.950% 10 Years: 4.200% 15 Years: 4.450%
20 Years: 4.600%

Notes: No tax Increase required



October 26, 2022

Capital Projects and Bond Oversight Committee
702 Capital Avenue, Room 34, Capitol Annex
Frankfort, KY 40601

RE: \$2,000,000 Casey County School District Finance Corporation
School Building Revenue Bonds, Series of 2023

Please find enclosed a Bond Payee Disclosure Form and Plan of Financing related to the above-referenced series of Bonds. The Bonds will be used to finance improvements at Walnut Hill Elementary School.

We would like to go ahead and submit the plan to Bond Oversight so that we will be ready to proceed with the bond sale shortly. The Bonds will be funded with 100% Local Funds.

Please process this bond disclosure form for review by the Bond Oversight Committee at the next meeting. Should you have any questions or require any additional information, please contact our office.

Sincerely,

A handwritten signature in black ink, appearing to read 'L Theinert', with a long horizontal flourish extending to the right.

Lincoln Theinert

Enclosures

147 East Third Street
Lexington, KY
40508

859/977-6600

fax: 859/381-1357

www.rsamuni.com

BOND PAYEE DISCLOSURE FORM

Par Amount:	\$2,000,000	
District	CASEY COUNTY SCHOOL DISTRICT	
Issue Name:	School Building Revenue Bonds, Series 2023	
Purpose:	Improvements at Walnut Hill Elementary	
Projected Sale Date of Bonds:	Q1 2023	
First Call Date:	8 Years at par	
Method of Sale:	Competitive Bids	
Place/time of sale:	Parity /SFCC, Frankfort, Ky. / TBD	
Bond Rating:	Moody's: "A1"	
Bond Counsel:	Steptoe and Johnson, Louisville, KY	
Fiscal Agent:	RSA Advisors LLC, Lexington, Kentucky	
Date received by SFCC:	/ /	<i>To be filled in by SFCC</i>
Date scheduled for Committee review:	/ /	<i>To be filled in by SFCC</i>

	SFCC Portion	Local Portion	Total
Estimated par amount of Bonds:	\$0	\$2,000,000	\$2,000,000
% Share of total Bonds:	0.00%	100.00%	100.00%
Estimated average annual debt service:	\$0	\$166,416	\$166,416
Estimated debt service reserve:	\$0	\$0	\$0

Estimated Cost of Issuance:

Fiscal Agent, Bond Counsel, Advertisements, Printing, Etc)	\$0	\$21,000	\$21,000
Special Tax Counsel	\$0	\$0	\$0
Number verifications	\$0	\$0	\$0
Bond Rating & Bank Fee	\$0	\$10,850	\$10,850
Underwriter's Discount	\$0	\$40,000	\$40,000
Credit Enhancement	\$0	\$0	\$0
Total Cost of Issuance:	\$0	\$71,850	\$71,850

Anticipated Interest Rates:

5 Years: 4.000% 10 Years: 4.500% 15 Years: 4.700%
20 Years: 4.750%

Notes: No tax Increase required



October 4, 2022

VIA ELECTRONIC MAIL

Capital Projects and Bond Oversight Committee
Frankfort, Kentucky 40601

RE: Reporting of Bond Issuance Costs to the Capital Projects and Bond Oversight Committee

Enclosed please find a Bond Payee Disclosure form for the following bond issue:

\$91,230,000 (estimated)
Fayette County (Kentucky) School District Finance Corporation
School Building Revenue Bonds, Series 2022

Please be advised that the enclosed costs are estimates. Actual costs will not be known until the bonds have been sold. A tax increase will not be necessary to support debt service on this financing.

We hereby request that the above bond issue be reported to the Bond Oversight Committee at its next regularly scheduled meeting.

If you need any additional information, please do not hesitate to call me at (859) 368-9622.

Sincerely,

A handwritten signature in blue ink that reads "Michael George".

Michael George
Managing Director

Enclosure

cc: J. David Smith
Charles Musson
Myron Thompson
Demetrus Liggins
Houston Barber

BOND PAYEE DISCLOSURE FORM

Par Amount:	\$91,230,000 (estimated)
Issue Name:	Fayette County School District Finance Corporation
Purpose:	New Middle School and Reimbursement for Land Acq.
Projected Sale Date of Bonds:	11/15/22
First Call Date:	06/1/32 @ 100%
Method of Sale:	Competitive
Place/Time of Sale:	SFCC/11:00 AM ET
Bond Rating:	Moody's "Aa3" (Estimated Underlying) & "A1" (Enhanced) S&P "AA-" (Estimated Underlying)
Bond Counsel:	Stoll Keenon Ogden PLLC and Rubin & Hays
Fiscal Agent:	Compass Municipal Advisors, LLC

Date Received by SFCC: / / *To be filled in by SFCC*

Date Scheduled for Committee Review: / / *To be filled in by SFCC*

	SFCC Portion	Local Portion	Total
Estimated par amount of Bonds:	\$0	\$91,230,000	\$91,230,000
% Share of total Bonds:	0%	100%	100%
Est. average annual debt service:		\$7,080,073	\$7,080,073
Estimated debt service reserve:		-0-	-0-
Estimated Cost of Issuance ¹			
Fiscal Agent, Bond Counsel:		\$123,800	\$123,800
Advertisements, Printing, etc.		\$0	\$0
Special Tax Counsel		-0-	-0-
Paying Agent		\$5,000	\$5,000
Bond Rating		\$115,000	\$115,000
Escrow Verification		-0-	-0-
Underwriter's Discount		\$1,140,375	\$1,140,375
Credit Enhancement		\$0.00	\$0
Total Cost of Issuance:	\$0	\$1,384,175	\$1,384,175

Anticipated Interest Rates:

5 Year - 3.87%	10 Year - 4.13%	15 Year - 4.52%
20 Year - 4.76%	25 Year - 4.92%	

¹ Actual costs will not be known until the bonds are sold.



October 24, 2022

VIA ELECTRONIC MAIL

Capital Projects and Bond Oversight Committee
Frankfort, Kentucky 40601

RE: Reporting of Bond Issuance Costs to the Capital Projects and Bond Oversight Committee

Enclosed please find a Bond Payee Disclosure form for the following bond issue:

\$2,260,000 (estimated)
Ludlow Independent (Kentucky) School District Finance Corporation
School Building Revenue Bonds, Series 2023

Please be advised that the enclosed costs are estimates. Actual costs will not be known until the bonds have been sold. A tax increase will not be necessary to support debt service on this financing.

We hereby request that the above bond issue be reported to the Bond Oversight Committee at its next regularly scheduled meeting.

If you need any additional information, please do not hesitate to call me at (859) 368-9622.

Sincerely,

Michael George
Managing Director

A handwritten signature in blue ink that reads "Michael George".

Enclosure

cc: Mark Franklin
Mike Borchers
Vikki Wofford

BOND PAYEE DISCLOSURE FORM

Par Amount:	\$2,260,000 (estimated)
Issue Name:	Ludlow Independent School District Finance Corporation
Purpose:	Athletic Turf Installation, Site Prep and A/E Expenses
Projected Sale Date of Bonds:	1/18/23
First Call Date:	2/1/32 @ 100%
Method of Sale:	Competitive
Place/Time of Sale:	SFCC/11:00 AM ET
Bond Rating:	"A1" – Moody's (Enhanced)
Bond Counsel:	Dinsmore & Shohl
Fiscal Agent:	Compass Municipal Advisors, LLC

Date Received by SFCC: / / *To be filled in by SFCC*
 Date Scheduled for Committee Review: / / *To be filled in by SFCC*

	SFCC Portion	Local Portion	Total
Estimated par amount of Bonds:	\$0	\$2,260,000	\$2,260,000
% Share of total Bonds:	0%	100%	100%
Est. average annual debt service:		\$232,905	\$232,905
Estimated debt service reserve:		-0-	-0-
Estimated Cost of Issuance ¹			
Fiscal Agent, Bond Counsel:		\$13,500	\$13,500
Advertisements, Printing, etc.		\$0	\$0
Special Tax Counsel		-0-	-0-
Paying Agent		\$5,000	\$5,000
Bond Rating		\$15,000	\$15,000
Escrow Verification		-0-	-0-
Underwriter's Discount		\$38,734	\$38,734
Credit Enhancement		\$0.00	\$0
Total Cost of Issuance:	\$0	\$72,234	\$72,234

Anticipated Interest Rates:² 5 Year - 4.25% 10 Year - 4.25% 13 Year - 4.25%

¹ Actual costs will not be known until the bonds are sold.

² Average life of the bonds is ~7.9 Years



October 6, 2021

VIA ELECTRONIC MAIL

Ms. Katherine Halloran
Committee Staff Administrator
Capital Projects and Bond Oversight Committee
Frankfort, Kentucky 40601

RE: Reporting of Bond Issuance Costs to the Capital Projects and Bond Oversight Committee

Dear Ms. Halloran:

Enclosed please find a Bond Payee Disclosure form for the following bond issue:

\$1,945,000 (estimated)
Menifee County School District Finance Corporation
School Building Revenue Bonds, Series 2022

Please be advised that the enclosed costs are estimates. Actual costs will not be known until the bonds have been sold. A tax increase will not be necessary to support debt service on this financing.

We hereby request that the above bond issue be reported to the Bond Oversight Committee at its next regularly scheduled meeting.

If you need any additional information, please do not hesitate to call me at (859) 361-5611.

Sincerely

A handwritten signature in black ink, appearing to read "Keith Brock", is written over a light blue horizontal line.

Keith Brock
Senior Vice President

Enclosure

cc: Mr. Timothy Spencer
Ms. Lorri Bartley
David Malone, Esq.
Dr. Anthony Strong

BOND PAYEE DISCLOSURE FORM

Par Amount:	\$1,945,000 (estimated)
Issue Name:	Menifee County School District Finance Corporation
Purpose:	New Central Board Office
Projected Sale Date of Bonds:	4/5/22
First Call Date:	4/1/2030
Method of Sale:	Competitive
Place/Time of Sale:	District/11:00AM ET
Bond Rating:	"A1" – Moody's (Enhanced)
Bond Counsel:	Step toe & Johnson
Fiscal Agent:	Compass Municipal Advisors, LLC

Date Received:	/ /
Date Scheduled for Committee Review:	/ /

	SFCC Portion	Local Portion	Total
Estimated par amount of Bonds:	\$0	\$1,945,000	\$1,945,000
% Share of total Bonds:	0%	100%	100%
Est. average annual debt service:	\$0	\$137,280	\$137,280
Estimated debt service reserve:	\$0	\$0	\$0
Estimated Cost of Issuance ¹			
Fiscal Agent, Bond Counsel:	\$0	\$12,315	\$12,315
Advertisements, Printing, etc.	\$0	\$0	\$0
Special Tax Counsel	\$0	\$0	\$0
Paying Agent	\$0	\$3,750	\$3,750
Bond Rating	\$0	\$10,000	\$10,000
Escrow Verification	\$0	\$0	\$0
Underwriter's Discount	\$0	\$38,900	\$38,900
Credit Enhancement	\$0	\$0	\$0
Total Cost of Issuance:	\$0	\$64,965	\$64,965

Anticipated Interest Rates:	5 Year - 1.31%	10 Year - 2.02%	15 Year - 2.48%
	20 Year - 2.71%		

¹ Actual costs will not be known until the bonds are sold.



October 25, 2022

Capital Projects and Bond Oversight Committee
702 Capital Avenue, Room 34, Capitol Annex
Frankfort, KY 40601

RE: \$2,000,000 Newport Independent School District Finance Corporation
School Building Revenue Bonds, Series of 2023

Please find enclosed a Bond Payee Disclosure Form and Plan of Financing related to the above-referenced series of Bonds. The Bonds will be used to finance new bleachers at Newport High School.

We would like to go ahead and submit the plan to Bond Oversight so that we will be ready to proceed with the bond sale shortly. The Bonds will be funded with 100% Local Funds.

Please process this bond disclosure form for review by the Bond Oversight Committee at the next meeting. Should you have any questions or require any additional information, please contact our office.

Sincerely,

A handwritten signature in blue ink that reads 'Dwight Salsbury'.

Dwight G. Salsbury

Enclosures

147 East Third Street
Lexington, KY
40508

859/977-6600

fax: 859/381-1357

www.rsamuni.com

BOND PAYEE DISCLOSURE FORM

Par Amount:	\$2,000,000	
District	NEWPORT INDEPENDENT SCHOOL DISTRICT	
Issue Name:	School Building Revenue Bonds, Series 2023	
Purpose:	New bleachers for Newport High School	
Projected Sale Date of Bonds:	Q1 2023	
First Call Date:	8 Years at par	
Method of Sale:	Competitive Bids	
Place/time of sale:	Parity /SFCC, Frankfort, Ky. / TBD	
Bond Rating:	Moody's: "A1"	
Bond Counsel:	Steptoe and Johnson, Louisville, KY	
Fiscal Agent:	RSA Advisors LLC, Lexington, Kentucky	
Date received by SFCC:	/ /	<i>To be filled in by SFCC</i>
Date scheduled for Committee review:	/ /	<i>To be filled in by SFCC</i>

	SFCC Portion	Local Portion	Total
Estimated par amount of Bonds:	\$0	\$2,000,000	\$2,000,000
% Share of total Bonds:	0.00%	100.00%	100.00%
Estimated average annual debt service:	\$0	\$181,139	\$181,139
Estimated debt service reserve:	\$0	\$0	\$0

Estimated Cost of Issuance:

Fiscal Agent, Bond Counsel, Advertisements, Printing, Etc)	\$0	\$21,000	\$21,000
Special Tax Counsel	\$0	\$0	\$0
Number verifications	\$0	\$0	\$0
Bond Rating & Bank Fee	\$0	\$10,850	\$10,850
Underwriter's Discount	\$0	\$40,000	\$40,000
Credit Enhancement	\$0	\$0	\$0
Total Cost of Issuance:	\$0	\$71,850	\$71,850

Anticipated Interest Rates:

5 Years: 4.000% 10 Years: 4.500% 15 Years: 4.700%
20 Years: 4.750%

Notes: No tax Increase required



October 3, 2022

VIA ELECTRONIC MAIL

Ms. Katherine Halloran
Committee Staff Administrator
Capital Projects and Bond Oversight Committee
Frankfort, Kentucky 40601

RE: Reporting of Bond Issuance Costs to the Capital Projects and Bond Oversight Committee

Dear Ms. Halloran:

Enclosed please find a Bond Payee Disclosure form for the following bond issue:

\$1,210,000 (estimated)
Paris Independent School District Finance Corporation
School Building Revenue Bonds, Series 2022

Please be advised that the enclosed costs are estimates. Actual costs will not be known until the bonds have been sold. A tax increase will not be necessary to support debt service on this financing.

We hereby request that the above bond issue be reported to the Bond Oversight Committee at its next regularly scheduled meeting.

If you need any additional information, please do not hesitate to call me at (859) 361-5611.

Sincerely

A handwritten signature in black ink, appearing to read "Keith Brock", is written over a light blue horizontal line.

Keith Brock
Senior Vice President

Enclosure

cc: Ms. Kristi Russell
Mr. Jeff Coulter
Mr. Stephen McCauley
David Malone, Esq.
Ms. Judy Zaepfel
Dr. Anthony Strong

BOND PAYEE DISCLOSURE FORM

Par Amount:	\$1,210,000 (estimated)
Issue Name:	Paris Independent School District Finance Corporation
Purpose:	Athletic Complex Improvements
Projected Sale Date of Bonds:	11/17/22
First Call Date:	12/1/2032
Method of Sale:	Competitive
Place/Time of Sale:	District/11:00AM ET
Bond Rating:	"A1" – Moody's (Enhanced)
Bond Counsel:	Step toe & Johnson
Fiscal Agent:	Compass Municipal Advisors, LLC

Date Received:	/ /
Date Scheduled for Committee Review:	/ /

	SFCC Portion	Local Portion	Total
Estimated par amount of Bonds:	\$0	\$1,210,000	\$1,210,000
% Share of total Bonds:	0%	100%	100%
Est. average annual debt service:	\$0	\$77,783	\$77,783
Estimated debt service reserve:	\$0	\$0	\$0
Estimated Cost of Issuance ¹			
Fiscal Agent, Bond Counsel:	\$0	\$13,100	\$13,100
Advertisements, Printing, etc.	\$0	\$0	\$0
Special Tax Counsel	\$0	\$0	\$0
Paying Agent	\$0	\$3,750	\$3,750
Bond Rating	\$0	\$10,000	\$10,000
Escrow Verification	\$0	\$0	\$0
Underwriter's Discount	\$0	\$18,150	\$18,150
Credit Enhancement	\$0	\$0	\$0
Total Cost of Issuance:	\$0	\$45,000	\$45,000

Anticipated Interest Rates:	5 Year - 2.60%	10 Year - 3.10%	15 Year - 3.55%
	20 Year - 4.25%	25 Year - 4.35%	

¹ Actual costs will not be known until the bonds are sold.



A LEADING AMERICAN UNIVERSITY WITH INTERNATIONAL REACH
DEPARTMENT OF PLANNING, DESIGN AND CONSTRUCTION

September 29, 2022

Senator Jason Howell, Co-Chair
Representative Chris Freeland, Co-Chair
Capital Projects and Bond Oversight Committee
Legislative Research Commission
Annex Room 34
702 Capitol Avenue
Frankfort, KY 40601

Dear Senator Howell, Representative Freeland, and Members of the Capital Projects and Bond Oversight Committee:

Pursuant to KRS 45A.180 (2), (5) Western Kentucky University is reporting the intent to utilize an alternative project delivery method "Construction Manager at Risk" for the Construction Services of the New College of Business project. WKU is submitting a copy of the Request for Proposals (RFP) along with this letter.

We will be happy to provide any additional information or answer any questions you have regarding this RFP.

Sincerely,
Western Kentucky University

Bryan B. Russell, LEED® AP
Chief Facilities Officer

cc:

Susan I. Howarth, Executive V.P. Strategy, Operations & Finance
Jennifer B. Smith, Executive Director, Government & Relations
Marci C. Morehead, Manager, Purchasing – Procurement Services
Kerra L. Ogden, Project Manager, Capital Construction

The Spirit Makes the Master

Western Kentucky University | 1906 College Heights Blvd. #21091 | Bowling Green, KY 42101-1091
phone: 270-745-8708 | fax: 270-745-2126 | email: pdcc@wku.edu | web: www.wku.edu

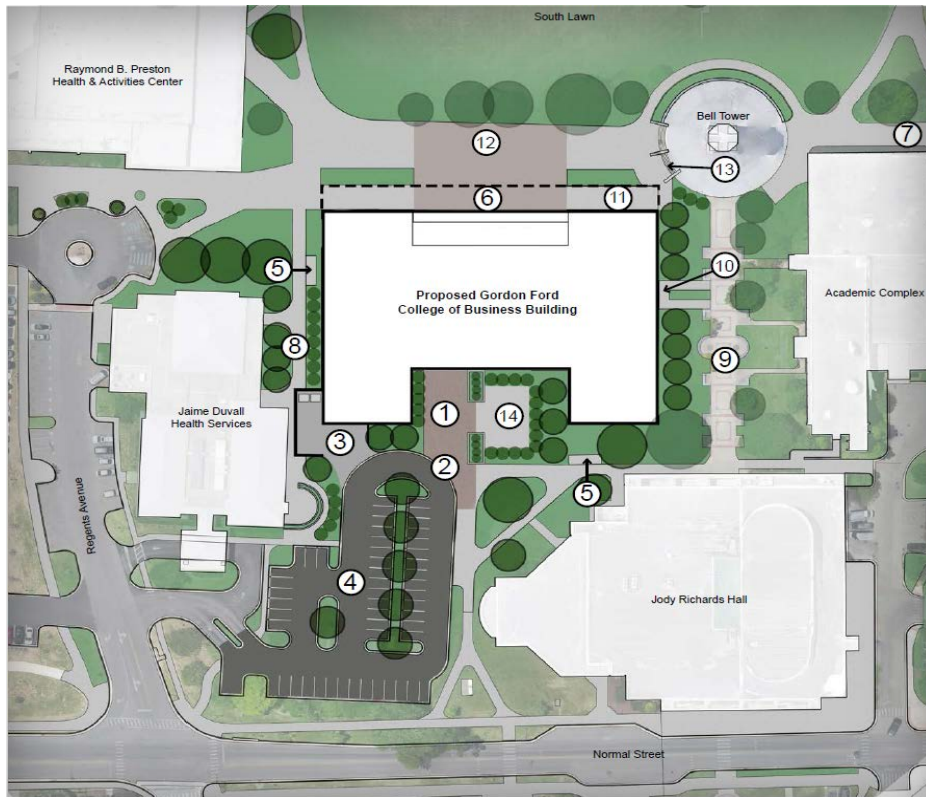
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WKU®

Request for Proposal
FOR CM SERVICES

For New College of Business Building



**COLLEGE OF BUSINESS
WESTERN KENTUCKY UNIVERSITY
BOWLING GREEN, KENTUCKY**

BID INFORMATION

INVITATION TO BID: WKU-10333
PROPOSALS DUE: AUGUST 25 2022 AT 2:30 CST
PRE-BID CONFERENCE DATE: AUGUST 10 2022
PRE-BID CONFERENCE TIME: 10:30 A.M. CST
PRE-BID CONFERENCE LOCATION: ZOOM: [HTTPS://WKU.ZOOM.US/J/97990251603](https://WKU.ZOOM.US/J/97990251603)
PRE-BID **IS** MANDATORY
DATE ISSUED: JULY 21 2022

QUESTIONS REGARDING THIS PROPOSAL MUST BE RECEIVED BEFORE 2:30 P.M. ON AUGUST 12, 2022.

UNIMARKET LINK:

<https://supplier.unimarket.com/app/supplier/bid-request/view/rfq-uuid/0245a6f3-1f06-4743-890d-1f903f281447>

CONTRACTING AGENCY

WESTERN KENTUCKY UNIVERSITY
DEPARTMENT OF PLANNING, DESIGN AND CONSTRUCTION
PM: KERRA OGDEN
270-745-2128
1906 COLLEGE HEIGHTS BLVD., # 21091
BOWLING GREEN, KENTUCKY 42101-1091

CONSULTANT

GENSLER
11 EAST MADISON STREET
SUITE 300
CHICAGO IL 60602

INVITATION NO. WKU-10333	DATE ISSUED JULY 21 2022	METHOD OF AWARD PROPOSAL AND PRICE
TYPE OF COMMODITY CONSTRUCTION SERVICES		
NAME OF BUYER Marci C. Morehead		TELEPHONE 270/745-6365

Western Kentucky University, Procurement Department, will receive sealed proposals until the time and date shown below. Proposals should be submitted electronically via the Unimarket system.

IMPORTANT: PROPOSALS MUST BE RECEIVED BY: AUGUST 25 2022 AT 2:30 PM CST
<u>NOTICE OF REQUIREMENTS</u>
<ol style="list-style-type: none"> 1. The University's General Terms and Conditions and Instructions to Bidders apply to this RFP. When the RFP includes construction services, the University's General Conditions for Construction and Instructions to Bidders, apply to the RFP. 2. Contracts resulting from this RFP must be governed by and in accordance with the laws of the Commonwealth of Kentucky. 3. Any agreement or collusion among offerors or prospective offerors, which restrains, tends to restrain, or is reasonably calculated to restrain competition by agreement to bid at a fixed price or to refrain from offering, or otherwise, is prohibited. 4. Any person who violates any provisions of KRS 45A.325 shall be guilty of a felony and shall be punished by a fine of not less than five thousand dollars nor more than ten thousand dollars, or be imprisoned not less than one year nor more than five years, or both such fine and imprisonment. Any firm, corporation, or association who violates any of the provisions of KRS 45A.325 shall, upon conviction, be fined not less than ten thousand dollars or more than twenty thousand dollars. <p style="text-align: center;"><u>AUTHENTICATION OF BID AND STATEMENT OF NON-COLLUSION AND NON-CONFLICT OF INTEREST</u></p> <p>I hereby swear (or affirm) under the penalty for false swearing as provided by KRS 523.040:</p> <ol style="list-style-type: none"> 1. That I am the offeror (if the offeror is an individual), a partner, (if the offeror is a partnership), or an officer or employee of the bidding corporation having authority to sign on its behalf (if the offeror is a corporation); 2. That the attached proposal has been arrived at by the offeror independently and has been submitted without collusion with, and without any agreement, understanding or planned common course of action with, any other Contractor of materials, supplies, equipment or services described in the RFP, designed to limit independent bidding or competition; 3. That the contents of the proposal have not been communicated by the offeror or its employees or agents to any person not an employee or agent of the offeror or its surety on any bond furnished with the proposal and will not be communicated to any such person prior to the official closing of the RFP; 4. That the offeror is legally entitled to enter into contracts with the Western Kentucky University and is not in violation of any prohibited conflict of interest, including, but not limited to, those prohibited by the provisions of KRS 45A.330 to .340, and 164.390; 5. That the offeror, and its affiliates, are duly registered with the Kentucky Department of Revenue to collect and remit the sale and use tax imposed by Chapter 139 to the extent required by Kentucky law and will remain registered for the duration of any contract award; 6. That I have fully informed myself regarding the accuracy of the statement made above. <p style="text-align: center;"><u>SWORN STATEMENT OF COMPLIANCE WITH CAMPAIGN FINANCE LAWS</u></p> <p>In accordance with KRS 45A.110 (2), the undersigned hereby swears under penalty of perjury that he/she has not knowingly violated any provision of the campaign finance laws of the Commonwealth of Kentucky and that the award of a contract to a bidder will not violate any provision of the campaign finance laws of the Commonwealth of Kentucky.</p> <p style="text-align: center;"><u>CONTRACTOR REPORT OF PRIOR VIOLATIONS OF KRS CHAPTERS 136, 139, 141, 337, 338, 341 & 342</u></p> <p>The contractor by signing and submitting a proposal agrees as required by 45A.485 to submit final determinations of any violations of the provisions of KRS Chapters 136, 139, 141, 337, 338, 341 and 342 that have occurred in the previous five (5) years prior to the award of a contract and agrees to remain in continuous compliance with the provisions of the statutes during the duration of any contract that may be established. Final determinations of violations of these statutes must be provided to the University by the successful contractor prior to the award of a contract.</p> <p style="text-align: center;"><u>CERTIFICATION OF NON-SEGREGATED FACILITIES</u></p> <p>The contractor, by submitting a proposal, certifies that he/she is in compliance with the Code of Federal Regulations, No. 41 CFR 60-1.8(b) that prohibits the maintaining of segregated facilities.</p>

SIGNATURE REQUIRED: This proposal cannot be considered valid unless signed and dated by an authorized agent of the offeror. Type or print the signatory's name, title, address, phone number and fax number in the spaces provided. Offers signed by an agent are to be accompanied by evidence of his/her authority unless such evidence has been previously furnished to the issuing office.

DELIVERY TIME:	NAME OF COMPANY:	
	ADDRESS:	Phone/Fax:
	CITY, STATE & ZIP CODE:	E-MAIL:
FEDERAL EMPLOYER ID NO.:	TYPED OR PRINTED NAME:	WEB ADDRESS:
	SIGNATURE:	DATE:

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Attachments

Attachment "A" General Conditions for CM at Risk

Attachment "B" Contract Agreement between the Western Kentucky University and CM at Risk

Attachment "C" Special Conditions for CM at Risk

Attachment "D" Current Schedule

Attachment "E" Staffing Matrix – Submitted with Phase 2 Response

Attachment "F" Bonds and Affidavit – Submitted with Phase 2 Response

Attachment "G" College of Business Conceptual design from Gensler

1.0 DEFINITIONS

The term "addenda" means written or graphic instructions issued by Western Kentucky University prior to the receipt of proposals that modify or interpret the RFP documents by additions, deletions, clarifications and/or corrections.

The term "competitive negotiations" means the method authorized in the Kentucky Revised Statutes, Chapter 45A.085.

The terms "offer" or "proposal" mean the offeror's/offers' response to this RFP. The term "offeror" means the entity or contractor group submitting the proposal. The term "contractor" means the entity receiving a contract award.

The term "purchasing agency" means the Western Kentucky University, Procurement Services Department.

The term "purchasing official" means the Western Kentucky University's appointed contracting representative.

The term "responsible offeror" means a person, company or corporation that has the capability in all respects to perform fully the contract requirements and the integrity and reliability that will assure good faith performance. In determining whether an offeror is responsible, the University may evaluate various factors including (but not limited to): financial resources; experience; organization; technical qualifications; available resources; record of performance; integrity; judgment; ability to perform successfully under the terms and conditions of the contract; adversarial relationship between the offeror and the University that is so serious and compelling that it may negatively impact the work performed under this RFP; or any other cause determined to be so serious and compelling as to affect the responsibility of the offeror.

The term "solicitation" means RFP.

The term "University" means Western Kentucky University.

2.1 GENERAL OVERVIEW

Western Kentucky University is soliciting responses for the purpose of selecting a construction management firm to manage the new College of Business building on the main campus at Western Kentucky University.

2.2 Intent and Scope

The Western Kentucky University desires the services of an experienced and highly qualified construction management firm to provide "FULL SERVICE" construction management on the proposed project. The Construction Manager (CM) selected will become a responsible, cooperative and contributing member of the Owner's professional team for the design and construction of the project. The Construction Manager (CM) will provide assistance and advice and provide management services to the Owner and design consultants to assure the project is completed within defined budget, program and schedule.

The total maximum construction budget of approximately **\$56,250,000**, to include costs for Construction Management Services as well as for the award of trade contracts.

The contract established for construction management services will be of a pure agency relationship through Phase 4 Bidding, and then convert to a "LUMP SUM, AT RISK" contract.

The Construction Manager (CM) will not be allowed to self-perform work or bid on any of the proposed work categories. The Construction Manager will hold all construction contracts.

The CM shall break the trade packages down such that there are no fewer than ten (10) trade contracts.

2.3 Background Information:

The Gordon Ford College of Business is currently housed in Grise Hall. This 133,067 gross square foot building was built in 1966 and consists of offices primarily on the west wing, classrooms on the east wing, and a large auditorium and common space in the core of the building. The building is shared with other campus programs, and the College of Business utilizes roughly 57,000 net square feet to serve its ~2,150 students today. The building is dated, and the building systems are deteriorating. A new College of Business building was originally identified as part of the 2010 Master Plan, and the 2021 Campus Master Plan proposed that the new College of Business be located on the former Tate Page Hall site, overlooking the South Lawn. The new College of Business will accommodate student growth of up to ~3,000 students.

3.1 PROPOSAL REQUIREMENTS

3.2 Key Event Dates

PHASE 1	
Release of RFP	7/21/2022
Pre-Proposal Conference at 10:30 https://wku.zoom.us/j/97990251603	8/10/2022
Deadline for Written Questions Phase 1 - Close of business	8/12/2022
RFP Proposals Due Date at 2:30 PM	8/25/2022
Evaluation of Phase 1 Proposals	9/1/2022
PHASE 2*	
Notification of Phase 2 Finalist	9/1/2022
Deadline for Written Questions from Phase 2 Finalist - Close of Business	9/7/2022
Offeror Presentations from Phase 2 Finalist – On Campus	9/15/2022
Contract Award	9/21/2022

*Decisions and Clarification's will be incorporated into the proposal documents by an addendum.

3.3 Offeror Communication

To ensure that RFP documentation and subsequent information (modifications, clarifications, addenda, Written Questions and Answers, etc.) are directed to the appropriate persons within the offeror's firm, each offeror who intends to participate in this RFP must join the RFP within the Unimarket e-procurement system:

<https://supplier.unimarket.com/app/supplier/bid-request/view/rfq-uuid/0245a6f3-1f06-4743-890d-1f903f281447>

Offerors should use Unimarket for questions and communications regarding this RFP.

If you need assistance, please contact the Procurement Manager, **Marci Morehead, at marci.morehead@wku.edu**.

All communication with the University regarding this RFP shall only be directed to the purchasing officer listed above.

3.4 Pre-Proposal Conference

A pre-proposal conference will be on **August 10, 2022 at 10:30 am CST** via ZOOM:

<https://wku.zoom.us/j/97990251603>

This meeting is to allow prospective contractors an opportunity to ask questions and clarify the University's expectations. This conference provides offerors an opportunity for oral questions.

The following items should be noted in reference to the pre-proposal conference:

- Attendance at the pre-proposal conference is mandatory. At this conference, the scope of services will be discussed in detail.
- Offerors are encouraged to submit written questions after the conference by the date listed in Section 3.1.

The University will prepare written responses to all questions submitted and make them available to all offerors. The questions and answers will be made part of the RFP and may become part of the contract with the successful contractor. Answers given orally at the conference are not binding.

3.5 Offeror Presentations

All Phase 2 Finalists shall be required to make a presentation to the evaluation committee. The interviews are scheduled to be held on **September 15, 2022**. Actual interview times for the Phase 2 finalist will be scheduled at a later time. Also, an agenda for the Phase 2 finalist will be issued prior to the interviews.

The Financial Proposal shall be submitted only by the Offerors that are selected as Phase 2 Finalist for performing the Work. The Financial Proposal shall be a lump sum proposal to include all costs through warranty. Phase 2 Finalists must provide (2) copies of the Financial Proposal at the interview presentation and addressed to:

Marci Morehead
Procurement Services
Western Kentucky University
1906 College Heights Blvd
Bowling Green KY 42101

Financial Proposals shall be enclosed in envelopes to the above referenced address and shall show the solicitation number and the name and address of the Offeror on the face of the envelope.

The fee shall include no less than the services requested in the RFP, and as listed below:

- a. All pre-construction services and expenses
 - b. All field office expenses
 - c. All field staff expenses
 - d. All office equipment and supplies
 - e. All office maintenance and furnishings
 - f. All communications services including phone and internet services
 - g. All job-site computers, software and printers, including electronic submittals
 - h. All project transportation costs including vehicles and travel
- i. All miscellaneous printing and photo costs for documents printed for the use of the CM's staff
- j. Costs for a thorough constructability and interdisciplinary coordination review of the Construction Documents. The Construction Manager will work with the University and the Designer of Record in identifying and preparing Bid Packages for soliciting trade representation. The University requires a minimum of seven (7) trade contracts, with more provided as appropriate.
- k. Three (3) detailed cost estimates at the end of each design phase of the project, plus a final cost estimate broken down to correspond to the respective trade contracts to be bid.
 - l. All overhead and profit
- m. Premium from performance and payment bonds shall assume a **\$57,250,000** construction cost (construction costs will be the sum total of all trade contracts and the Construction Manager contract and will be adjusted after procurement of all trades).
- n) Premium for General Liability insurance shall assume a **\$57,250,000** construction cost (construction costs will be the sum total of all trade contracts and the

Construction Manager contract and will be adjusted after procurement of all trades)

3.6 Preparation of Offers

The offeror is expected to follow all specifications, terms, conditions and instructions in this RFP. The offeror will furnish all information required by this solicitation.

Proposals should be prepared simply and economically, providing a description of the offeror's capabilities to satisfy the requirements of the solicitation. Emphasis should be on completeness and clarity of content. All documentation submitted with the proposal should be bound in the single volume except as otherwise specified.

3.7 Proposed Deviations from the RFP

The stated requirements appearing elsewhere in this RFP shall become a part of the terms and conditions of any resulting contract. Any deviations therefrom must be specifically defined in accordance with the transmittal letter, Section 4.3 (d). If accepted by the University, the deviations shall become part of the contract, but such deviations must not be in conflict with the basic nature of this RFP.

Note: Offerors shall not submit their standard terms and conditions as exceptions to the University's General Terms and Conditions. Each exception to the University's General Terms and Conditions shall be individually addressed.

3.8 Proposal Submission and Deadline

Offeror must provide four (4) printed copies and upload digitally to Unimarket, prior to **2:30 P.M. CST on AUGUST 25, 2022** and addressed to:

Kerra Ogden
 WKU Planning Design and
 Construction
 Western Kentucky University
 1906 College Heights Blvd.
 Bowling Green KY 42101

Note: Proposals received after the closing date and time will not be considered. In addition, proposals received via fax or e-mail are not acceptable.

<https://supplier.unimarket.com/app/supplier/bid-request/view/rfq-uuid/0245a6f3-1f06-4743-890d-1f903f281447>

Note: In accordance with the Kentucky Revised Statute 45A.085, there will be no public opening.

3.9 Modification or Withdrawal of Offer

An offer and/or modification of offer received at the office designated in the solicitation after the exact hour and date specified for receipt will not be considered.

An offer may be modified or withdrawn by written notice before the exact hour and date specified for receipt of offers. An offer also may be withdrawn in person by an offeror or an authorized representative, provided the identity of the person is made known and the person signs a receipt for the offer, but only if the withdrawal is made prior to the exact hour and date set for receipt of offers.

3.10 Rejection

Grounds for the rejection of proposals include (but shall not be limited to):

- Failure of a proposal to conform to the essential requirements of the RFP.
- Imposition of conditions that would significantly modify the terms and conditions of the solicitation or limit the offeror's liability to the University on the contract awarded on the basis of such solicitation.
- Failure of the offeror to sign the University RFP. This includes the Authentication of Proposal and Statement of Non-Collusion and Non-Conflict of Interest statements.
- Receipt of proposal after the closing date and time specified in the RFP.

3.11 Addenda

Any addenda or instructions issued by Procurement Services prior to the time for receiving proposals shall become a part of this RFP. Such addenda shall be acknowledged in the proposal. No instructions or changes shall be binding unless documented by a proper and duly issued addendum.

3.12 Disclosure of Offeror's Response

The RFP specifies the format, required information and general content of proposals submitted in response to this RFP. Procurement Services will not disclose any portions of the proposals prior to contract award to anyone outside the Purchasing Division, the University's administrative staff, representatives of the state or federal government (if required) and the members of the committee evaluating the proposals. After a contract is awarded in whole or in part, the University shall have the right to duplicate, use or disclose all proposal data submitted by offerors in response to this RFP as a matter of public record.

Any submitted proposal shall remain valid six (6) months after the proposal due date.

The University shall have the right to use all system ideas, or adaptations of those ideas, contained in any proposal received in response to this RFP. Selection or rejection of the proposal will not affect this right.

3.13 Restrictions on Communications with University Staff

From the issue date of this RFP until a contractor is selected and a contract award is made, offerors are not allowed to communicate about the subject of the RFP with any University administrator, faculty, staff or members of the Board of Regents except the Procurement Services purchasing agent or official designee. If violation of this provision occurs, the University reserves the right to reject the offeror's proposal.

3.14 Cost of Preparing Proposal

Costs for developing the proposals and any subsequent activities prior to contract award are solely the responsibility of the offerors. The University will provide no reimbursement for such costs.

3.15 Disposition of Proposals

All proposals become the property of the University. The successful proposal will be incorporated into the resulting contract by reference.

3.16 Alternate Proposals

Offerors may submit alternate proposals. If more than one proposal is submitted, all must be complete (separate) and comply with the instructions set forth within this document. Each proposal will be evaluated on its own merits.

3.17 Questions

All questions should be submitted via Unimarket.

3.18 Section Titles in the RFP

Section titles used herein are for the purpose of facilitating ease of reference only and shall not be construed to infer the construction of contractual language.

3.19 No Contingent Fees

No person or selling agency shall be employed or retained or given anything of monetary value to solicit or secure this contract, except bona fide employees of the offeror or bona

vide established commercial or selling agencies maintained by the offeror for the purpose of securing business. For breach or violation of this provision, the University shall have the right to reject the proposal, annul the contract without liability, or, at its discretion, deduct from the contract price or otherwise recover the full amount of such commission, percentage, brokerage or contingent fee or other benefit.

3.20 Proposal Addenda and Rules for Withdrawal

Prior to the date specified for receipt of offers, a submitted proposal may be withdrawn by emailing the purchasing officer at **marci.morehead@wku.edu**. Unless requested by the University, the University will not accept revisions or alterations to proposals after the proposal due date.

4.1 Proposal Information and Criteria

The following list specifies the items to be addressed in the proposal. Offerors should read it carefully and address it completely and in the order listed to facilitate the University's review of the proposal.

Proposals shall be organized into the sections identified below. The content of each section is detailed in the following pages. It is strongly suggested that offerors use the same numbers for the following content that are used in the RFP.

- Signed Authentication of Proposal and Statement of Non-Collusion and Non-Conflict of Interest Form
- Transmittal Letter
- Executive Summary and Proposal Overview
- Criteria 1 – Offeror Qualifications
- Criteria 2 – Project Team Qualifications
- Criteria 3 – Services Defined
- Criteria 4 – Scheduling Ability
- Criteria 5 – Constructability and Interdisciplinary Coordination Review

4.2 Signed Authentication of Proposal and Statements of Non-Collusion and Non-Conflict of Interest Form

The Offeror will sign and return the proposal cover sheet and print or type their name, firm, address, telephone number and date. The person signing the offer must initial erasures or other changes. An offer signed by an agent is to be accompanied by evidence of their authority unless such evidence has been previously furnished to Procurement Services. The signer shall further certify that the proposal is made without collusion with any other person, persons, company or parties submitting a proposal; that it is in all respects fair and in good faith without collusion or fraud; and that the signer is authorized to bind the principal offeror.

4.3 Transmittal Letter

The Transmittal Letter accompanying the RFP shall be in the form of a standard business

letter and shall be signed by an individual authorized to legally bind the offeror. It shall include:

- A statement referencing all addenda and written questions, the answers and any clarifications to this RFP issued by the University and received by the offeror (If no addenda have been received, a statement to that effect should be included.).
- A statement that the offeror's proposal shall remain valid for six (6) months after the closing date of the receipt of the proposals.
- A statement that the offeror will accept financial responsibility for all travel expenses incurred for oral presentations (if required) and candidate interviews.
- A statement that summarizes any deviations or exceptions to the RFP requirements and includes a detailed justification for the deviation or exception.
- A statement that identifies the confidential information as described in Section 6.11.

4.4 Executive Summary and Proposal Overview

The Executive Summary and Proposal Overview shall condense and highlight the contents of the technical proposal in such a way as to provide the evaluation committee with a broad understanding of the entire proposal.

As part of the Executive Summary and Proposal Overview, Offeror shall submit with their response a summarized profile describing the demographic nature of their company or organization:

1. Is your company certified as small business, minority-owned, women-owned, veteran-owned, disabled-owned, or similar classification?
2. Include other demographic information that you feel may be applicable to the Request for Proposal submission.

4.5 Criteria 1 - Offeror Qualifications

The purpose of the Offeror Qualifications section is to determine the ability of the offeror to respond to this RFP. Offerors must describe and offer evidence of their ability to meet each of the qualifications listed below.

- a) Please provide a brief narrative describing of the history of your firm. Identify the number of employees in your firm, and the ownership.

- b) Please provide an executive summary profile of your firm indicating the total annual volume of work; an overview of the firm's resources; the approximate percentage of University related work versus other project types; a breakdown of your firm's volume relative to CM @ Risk, CM Agency, Lump-sum negotiated, Lump-sum hard bid, design-build, etc.; Indicate whether your firm routinely self performs any trade work and if so the relative amount of self-performed work to the total volume. Indicate what resources, if any, your firm has regarding self-performed trade work. Provide any other information necessary to describe your core business parameters.
- c) Provide an organizational chart of your firm indicating the lines of authority for the senior personnel involved in performance of this contract and relationships of this staff to other programs or functions of the firm. This chart should show lines of authority to the next senior level of management beyond the project team level.
- d) Has your firm had a contract terminated for default in the last five years? If so, describe such incident.
- e) Indicate any other experience that demonstrates the qualifications of your firm for the performance of this contract.

4.6 Criteria 2 – Project Team Qualifications

- a) Please provide an organization chart, resumes of key team members, and brief description of roles and responsibilities.
- b) Complete and provide the detailed staffing chart for construction indicating the on-site staffing that you recommend to adequately provide the construction management services requested. Refer to Attachment ("F") Staffing Matrix.
- c) Please describe at least 5 projects of similar scale and complexity to which project members of the team have been involved and the level of their involvement. Provide the project name, size, cost, date, firm role, team member role, and owner contact information.
- d) The CM must commit that staff identified in your proposal will actually perform the assigned work and be committed for the duration. Describe the level of commitment and the ability your firm has regarding this assurance and the stability of the proposed team.

4.7 Criteria 3 – Services Defined

- a) The CM should provide documentation of their understanding of the services requested in the RFP and contract documents.
- b) Your proposal must provide for the completion of all work necessary to accomplish the scope of work defined in this RFP. Include a complete description of the proposed approach and methodology to accomplish the

work described. The plan must be in sufficient detail to convey to the evaluation team the CM's knowledge of projects of similar scale and complexity and the CM's knowledge of the requirements, demands, and constraints of this project.

- c) Explain how your firm/team approaches budgeting and budget maintenance to assure a successful completion within budget.
- d) Describe your firm's Disadvantaged Business Enterprise program and strategy for achieving DBE participation as well as your strategy to promote local trade, contractor, and vendor participation this project.

4.8 Criteria 4 – Scheduling Ability

- a) Explain how your firm/team approaches scheduling and schedule maintenance to assure a successful on time completion of the design and construction phases.
- b) Provide examples of schedules your firm has generated in support of projects of the size and complexity of this project.

4.9 Criteria 5 – Constructability and Interdisciplinary Coordination Review

- a) Describe the process your firm will undertake to accomplish a comprehensive constructability and interdisciplinary coordination review of the final construction documents for Bid Packages. Confirm this process will identify constructability problems and document related conflicts which will be corrected and incorporated into bidding documents to reduce RFI's and minimize change orders.
- b) Provide examples of the final products of such reviews and describe how their results can be productively incorporated into the construction documents.

5.0 EVALUATION CRITERIA PROCESS

A committee of University officials will evaluate proposals and make a recommendation to the Procurement Officer. Western Kentucky University will use a multi-phase evaluation process as outlined below.

The evaluation will be based upon the information provided in the proposal, the Financial Proposal, additional information requested by the University for clarification, information obtained from references and independent sources, and oral presentations, if requested.

The evaluation of proposals will include consideration of responses to the list of criteria in Section

4.0. Offerors must specifically address all criteria in their response. Any deviations or exceptions to the specifications or requirements must be described and justified in a transmittal letter. Failure to list such exceptions or deviations in the transmittal letter may be considered sufficient reason to reject the proposal.

The evaluation of responsive proposals shall then be completed by an evaluation committee and will be evaluated strictly in accordance with the requirements set forth in this RFP, including any addenda that are issued.

Phase 1 Evaluation Process and Scoring

The evaluation committee shall review proposals and each committee member shall independently score each proposal based on the Phase 1 Evaluation Criteria contained in this document. The score as determined by each evaluation committee member will be averaged to determine the Phase 1 committee composite score for each Offeror. Insofar as it is practical, no less than two (2) Offerors will be selected to participate in Phase 2.

A minimum score to proceed to Phase 2 is 75.

The relative weight and available points/score of the criteria for Phase 1 is defined below:

Qualifications – Firm	20 Points	
Project Team Qualifications		30 Points
Services Defined		30 Points
Scheduling Ability		10 Points
<u>Constructability and Interdisciplinary Coordination Review</u>		<u>10 Points</u>
Maximum Points available for Phase 1		100 Points

Phase 2 Evaluation Process and Scoring

Each Offeror selected to participate in Phase 2 shall be required to participate in a Presentation before the evaluation committee and shall submit a Financial Proposal. Phase 2 finalist may also be required to submit additional information as requested by the University.

Phase 2 Step 1 - The Phase 2 Presentations and any additional information supplied by the finalist shall be evaluated and ranked by the evaluation committee members, who shall not have knowledge of the Financial Proposal component. Each evaluator shall independently evaluate the Phase 2 non price offers and indicate a ranking (1st, 2nd, 3rd, etc...).

The evaluation committee shall then discuss and determine the ranking for each offeror.

The relative weight and available points/score of the criteria for Phase 2 Step 1 is defined below:

Rank	Points/Score
1st	100 Points

2nd	75 Points
3rd	50 Points
4th or below	25 Points

The total maximum points/scores available for the Non Price committee composite score for Phase 2 Step 1 will be 100 points/score.

Phase 2 Step 2 - A total average Non-Price score for Phase 1 and for Phase 2 Step 1 shall be calculated for each Offeror taking part in Phase 2. The maximum points/score available for Non-Price Score will be 200. The Offerors shall have their Non-Price Score determined by applying the following formula:

Phase 1 + Phase 2 Step 1 = Phase 2 Step 2 Non-Price Score

Phase 2 Step 3 - The Financial Proposals are evaluated in Phase 2 Step 3. The maximum points/score available for Offeror's Financial Score will be 200. The Offeror proposing the lowest price/score shall receive the maximum price/score of 200 points. The Offerors shall have their price/score determined by applying the following formula:

Lowest Price x 200 = Offeror's Financial score

Phase 2 Step 4 - The Offeror with the highest point total from Phase 2 Step 2 plus Phase 2 Step 3 shall receive the award unless the Financial Proposal is in excess of the authorized budget. If two or more of the Offerors achieve the same highest point total at the end of the final phase scoring, the purchasing officer shall request best and final proposals from each Offeror. The Offerors shall have their price/score determined by applying the following formula:

Non Price Score (Phase 1 and Phase 2) + Offeror's Financial Score = Offeror's Total Score

Total Evaluation Scoring

The relative importance and available points/score of the criteria for

Phase 2 is defined below:

Maximum Financial Proposal Point/Score (50%)	200
Maximum Non Price Points/Score for Phase 1 and Phase 2	200 (50%)
Maximum Points available for Financial and Non Price Score	400 Points

The evaluation will be based upon the information provided in the proposal, additional information requested by the University for clarification, information obtained from references and independent sources and oral presentations (if requested).

6.1 Terms and Conditions

The General Conditions of the Contract for Construction by a Construction Manager at Risk are attached as Attachment "A".

6.2 Contract

The Contract between Western Kentucky University and Construction Manager at Risk are attached as Attachment "B".

The proposal shall include pricing for all phases as described herein.

6.3 Special Conditions

The Special Conditions of the Contract for Construction by a Construction Manager at Risk are attached as Attachment "C"

6.4 Bonding

Only Phase 2 Offerors shall submit a bid guarantee of not less than five (5%) percent of the amount of the base bid.

A 100% Performance Bond and 100% Payment Bond shall be furnished by the successful offeror. All bonding and insurance requirements are contained in the RFP and/or General Conditions.

It is further agreed, that in the event this Proposal is accepted by the Owner and the undersigned shall fail to execute the Contract and furnish satisfactory Payment and Performance Bond as defined in the Agreement, the Owner may at his option, determine that the undersigned has abandoned the Contract and thereupon, the Proposal shall become null and void.

The Construction Manager shall provide a Performance and Payment Bond initially in the amount of the Construction Management Service fee and, subsequently, the Construction Manager shall provide performance and payment bonds for each phase of the Work to be performed under the Contract at such time the phase of the Work is awarded, each in a penal amount equal to the dollar amount for the Work included in the applicable phase.

6.5 Additions, Deletions or Contract Changes

The University reserves the right to add, delete, or change related items or services to the contract established from this RFP. No modification or change of any provision in the resulting contract shall be made unless such modification is mutually agreed to in writing by the contractor and the project manager, which will be then incorporated as a written modification to the contract. Memoranda of understanding and correspondence shall not be interpreted as a modification to the contract.

6.6 Competitive Negotiation

It is the intent of the RFP to enter into competitive negotiation as authorized by KRS 45A.085.

The University will review all proposals properly submitted. However, the University reserves the right to request necessary modifications, reject all proposals, reject any proposal that does not meet mandatory requirement(s) or cancel this RFP, according to the best interests of the University.

Offeror(s) selected to participate in negotiations may be given an opportunity to submit a Best and Final Offer to the purchasing officer. All information-received prior to the cut-off time will be considered part of the offeror's Best and Final Offer.

The University also reserves the right to waive minor technicalities or irregularities in proposals providing such action is in the best interest of the

University. Such waiver shall in no way modify the RFP requirements or excuse the offeror from full compliance with the RFP specifications and other contract requirements if the offeror is awarded the contract.

6.7 Appearance Before Committee

Any, all or no offerors may be requested to appear before the evaluation committee to explain their proposal and/or to respond to questions from the committee concerning the proposal. Offerors are prohibited from electronically recording these meetings. The committee reserves the right to request additional information.

6.8 Construction Manager Cooperation in Related Efforts

Western Kentucky University reserves the right to undertake or award other contracts for additional or related work. The Construction Manager shall fully cooperate with such other Contractors and University employees and carefully fit their work to such additional work. The Construction Manager shall not commit or permit any act, which will interfere with the performance of work by any other Contractor(s) or by University employees. This clause shall be included in the contracts of all parties with whom this Construction Manager will be required to cooperate. The University shall equitably enforce this clause to all parties, to prevent the imposition of unreasonable burdens on any Construction Manager

6.9 Construction Manager Responsibility

Any contracts that may result from the RFP shall specify that the contractor(s) is/are solely responsible for fulfillment of the contract with the University.

6.10 Method of Award

It is the intent of the University to award a contract to the qualified offeror whose offer, conforming to the conditions and requirements of the RFP, is determined to be the most advantageous to the University, cost and other factors considered.

Notwithstanding the above, this RFP does not commit the University to award a contract from this solicitation. The University reserves the right to reject any or all offers and to waive formalities and minor irregularities in the proposal received.

6.11 Confidentiality

The University recognizes an offeror's possible interest in preserving selected information and data included in the proposal; however, the University must treat such information and data as required by the Kentucky Open Records Act, KRS 61.870, et seq.

Information areas which normally might be considered proprietary, and therefore confidential, shall be limited to individual personnel data, customer references, formulae and company financial audits which, if disclosed, would permit an unfair advantage to competitors. If a proposal contains information in these areas and the offeror declares them to be proprietary in nature and not available for public disclosure, the offeror shall declare in the Transmittal Letter the inclusion of proprietary information and shall noticeably label as confidential or proprietary each sheet containing such information. Proposals containing information declared by the offeror to be proprietary or confidential, either wholly or in part, outside the areas listed above may be deemed non-responsive and may be rejected.

The University's General Counsel shall review each offeror's information claimed to be confidential and, in consultation with the offeror (if needed), make a final determination as to whether or not the confidential or proprietary nature of the information or data complies with the Kentucky Open Records Act.

6.12 Conflict of Interest

This Request for Proposal and resulting Contract are subject to provisions of the Kentucky Revised Statutes regarding conflict of interest and the Western Kentucky University's Ethical Principles and Code of Conduct. When submitting and signing a proposal, an offeror is certifying that no actual, apparent or potential conflict of interest exists between the interests of the University and the interests of the offeror. A conflict of interest (whether contractual, financial, organizational or otherwise) exists when any individual, contractor or subcontractor has a direct or indirect interest because of a financial or pecuniary interest, gift or other activities or relationships with other persons (including business, familial or household relationships) and is thus unable to render or is impeded from rendering impartial assistance or advice, has impaired objectivity in performing the proposed work or has an unfair competitive advantage.

Questions concerning this section or interpretation of this section should be directed to the University purchasing officer identified in this RFP.

7.1 SCOPE OF SERVICES

The Construction Manager (CM) will provide the following services:

- Design Phase (Estimating, Budget Reconciliation, and Constructability Reviews for each phase, Schematic Design through Construction Documents)
- Bid and Award
- Construction, including Acceptance
- Post Construction, including Warranty.

The CM, in consultation with the Designer of Record (Gensler Architecture) and the University, will recommend the deliverables of project schedule consistent with Bid Packages necessary to complete the construction within the specified time. Subject to the approval by both the Designer of Record (Gensler Architecture) and University the CM will assume the lead in maintaining the project schedule, bidding, construction progress, facility acceptance, and all post construction activities.

7.2 Preliminary Project Schedule:

The proposed schedule for this project is as follows:

Schematic Design Complete	10/24/2022
Design Development Complete	2/13/2023
Construction Documents Complete	5/29/2023
Bid and award Trade Contracts	06/12/2023 (Tentative)
Begin construction	07/24/2023 (Tentative)
Substantial Completion	5/24/2025 (Tentative)

(Bid and award dates contingent on determination of feasibility for the issuing of early bid packages.)

7.3 Proposal Submittal Requirement

Each Offeror shall provide information, documentation and other necessary materials that best demonstrates and informs the University of the firm's abilities, professional competence, experience and expertise that will enable the firm to provide the construction management services desired.

Demonstrated experience and success in promoting and achieving project DBE participation is desirable. Each Offeror is expected to examine all specifications, terms, conditions, and instructions in this Request for Proposal. Failure to do so will be at the Offeror's risk.

The submittal response should be focused with straightforward, concise descriptions of the firm's capabilities. In keeping with this requirement, the Offeror's response to this request should be no more than (50) fifty pages, not including any preprinted firm information and brochures. Broad scope of services that may be required on this project include, but not necessarily be limited to those described below:

7.4 Construction Management Team

The ultimate success of the project is dependent on the skills and expertise of the CM Project Manager and the individuals assigned to provide the services required. The proposal shall provide detailed information on the key personnel and support staff proposed to be assigned on this project. The CM Project Manager is the individual who is assigned to the project to provide overall management during both design and construction and who has the total responsibility for the successful completion of the project. This submittal should include responsibilities of each team member along with resume and qualifications of each member proposed. The individuals named shall be available for assignment to this project. Team members proposed and/or assigned must be available for the duration of the project and cannot be changed or reassigned without the approval of Western Kentucky University. Western Kentucky University may request team members be replaced at any time.

Please complete the attached matrix entitled "Construction Phase Staffing Standardization Matrix", "Offeror's Recommended Staffing", Attachment "E" providing the staffing level you would recommend for the duration of construction activities.

7.5 Construction Management Experience

The proposal submittal shall include projects completed or that are still under construction that demonstrates your experience in supplying construction management services on projects of similar size, type and complexity as College of Business building at the Western Kentucky University. The Owner's and the design consultant's contact person(s) on each of the projects listed shall be provided along with current telephone numbers. The submittal should include a written narrative on how your organization managed the design and construction process on these projects. Select relevant projects. The projects selected should be projects completed by the personnel that will supply management services for this project.

7.6 Design Phase Services

The University has retained the design team of Gensler Architecture to provide design and conventional architectural contract administration services for the project. The CM, in consultation with Gensler, and the University, will take the lead and develop the remainder of the project schedule, subject to approval by both Gensler and the

University.

The CM shall:

1. Provide all project scheduling as defined above, including the development of a CPM type master schedule for all significant activities during the pre-construction period. Also, prepare a CPM type master construction schedule for inclusion in the construction contract documents.
2. Assist the University and the design consultant in determining the feasibility of issuing of early bid packages or phasing of construction.
3. Prepare required detailed construction cost estimates to support the design process. Each estimate will be reconciled with an estimate compiled by the design team's cost consultant. Estimates will be submitted at the completion of each design phase, to be reconciled with the equivalent estimate submitted by the Design Team's estimating sub-consultant, Programming (100%), Schematic Design (100%), Design Development (100%), & Construction Documents (80%).
4. Prepare a report containing detailed value engineering assessments at the end of each phase of design. The report shall consider cost estimates, value engineering estimates, constructability, materials and construction techniques, sequencing of construction, separation of contracts, etc. Recommend action, if required, to maintain project budgets and schedule.
5. Participate in Phase I,II and III design progress review sessions for the purpose of providing input with respect to constructability, contractibility, value engineering, scheduling, and document development. In addition, the Construction manager will provide a comprehensive, independent constructability and interdisciplinary coordination review of the final construction documents for Bid Packages.
6. Provide Special Conditions for approval by Gensler and the University and for inclusion in bidding and contract documents.
7. Identify and recommend the most cost effective work categories, and provide the methods and means to clearly identify and define these cost effective construction categories, and their responsibilities to be included in the specifications and drawings.

7.7 Bid and Award Phase Services

- 1) The CM shall assist the Owner's Procurement Division to insure that all bidding activities result in qualified contractors for the lowest possible costs.
- 2) Bids will be solicited by the University in accordance with the Commonwealth of Kentucky Model Procurement Code (KRS 045A). The CM

will participate in the post bid evaluation and verification of the qualifications of the firms submitting apparent low bids for each of the bid packages for the project to assist in the determination of the proposals representing the best value to the University.

- 3) As each trade contract and/or purchase order is executed by the CM, the contract between the CM and the University shall be adjusted by an equal amount so that the total contract sum of the contract between the CM and the University equals the sum of the executed trade contracts and purchase orders, plus the base fee for CM Services previously established during Phase II of the CM selection process.

7.8 Construction Phase Services

The CM shall:

1. Enter into direct contracts with all Trade Contractors and Suppliers.
2. Assume the responsibility for the overall administration of construction contracts.
3. Provide full-time staff throughout construction for the purpose of monitoring, managing, inspecting, scheduling, and coordinating the timely progress, performance, quality and contract compliance of the trade contractors and suppliers.
4. Schedule and conduct meetings, as necessary, and prepare and distribute meeting minutes.
5. Develop and maintain a detailed master construction schedule. This schedule should be provided and updated for each project meeting.
6. Request pricing, review and negotiate costs, and make recommendations on all necessary changes to the contracts and/or purchase orders. The contract between the CM and the University shall be amended by change order so that the total sum of the contract between the CM and the University equals the sum of the executed trade contracts, plus approved change orders to the trade contracts, plus the base fee previously established and described in Section 7.3.2, Par. 4, Bid and Award Phase Services, above.
7. Coordinate construction interfaces, methods, techniques, and sequences. The Design Team is utilizing Building Imaging Modeling (B.I.M.) to coordinate building

systems and to help minimize space conflicts. To that end, the selected Construction Management Firm shall also use B.I.M. for coordination of the construction work, for conflict resolution and in conjunction with the design consultants. Any B.I.M. application used must be compatible with Revit Architecture as manufactured by Autodesk or other software used by architect of record.

8. Institute and administer requirements and procedures for the electronic review and approvals of all submittals.
9. Prepare and administer all cost control procedures, including monthly pay requests, change order logs, etc. Prepare Budget Cost Summary Reports as required but no less frequently than monthly.
10. Coordinate all requirements of project commissioning and close-out procedures including but not limited to: inspections, Owner's orientation and familiarization, training of Owner's personnel, and collection of all electronic close-out documents. Develop with Owner an occupancy schedule.
11. Represent the owner, moderate, seek solutions, make recommendations or take other appropriate actions in matters relating in disputes between contractors, work stoppages, labor disputes, or other disruptions that may occur during the construction of this project.
12. Develop and maintain electronic systems for reporting and retrieval of project information.

Note: Construction Phase Services as noted above should assume the durations listed in the enclosed schedule (Attachment "D") as well as the staffing levels dictated by the Staffing Matrix.

The University intends to conduct a reassessment of the schedule with full participation and agreement of the entire team. Should that effort alter these durations then the CM's Construction Phase Services will be amended accordingly and agreed to prior to start of the construction phase.

7.9 Post Construction Phase Services

The CM shall:

- 1) Warrant to the Owner and the Consultant that all materials and equipment furnished under the Trade Contracts and Purchase Orders shall

be new and in accordance with the requirements of the contract documents, and that all Work shall be of good quality, free from faults and defects and in conformance with the Contract Documents

- 2) Guarantee that labor, material, and equipment shall be free of defects for a period of one (1) year from the date shown on the Certificate of Substantial Completion unless special conditions or additional warranty periods are required by the contract.
- 3) Warrant that the work performed under the contract between the CM and the Owner, when completed, will conform to the Contract Documents.

7.10 Compliance With State Laws

Resulting from this solicitation shall be governed under, and the rights and obligations of the parties hereto, shall be determined in accordance with the laws of the Commonwealth of Kentucky. The firm selected shall provide equal job opportunity and prohibit discrimination based on race, creed, color, sex, age, religion or national origin as required by Kentucky Revised Statutes 45:550 through 45:640. All contractors and subcontractors are required to comply with Federal Executive Order 11246 entitled "Equal Employment Opportunity" as amended by the Department of Labor regulations (41CFR, Part 60). The successful firm will be required to provide certificates of insurance showing proof of general, vehicle liability and Worker's Compensation insurance and a 100% Performance and Payment Bond for the full amount of the fee negotiated during Phase II of the selection process, adjusted to equal the total contract sum as described above. The CM fee should reflect bonding and insuring the project for the full stipulated amount of **\$56,250,000** however the actual bonds will not be required until the trade/work categories are awarded. For example, if the CM fee is \$200,000, then the University requires a bond for \$200,000 and as each trade/work category is awarded the bonds shall be increased to cover the awarded amount up to the stipulated amount.

8.1 FINANCIAL OFFER SUMMARY FORM

The **Financial Offer is not required with the first Phase submittal**. It will be requested from the firms that are moved to Phase 2 of the process based on the Evaluation Criteria Process defined in Section 5.0 of this RFP.

Please provide a lump sum firm fixed fee quotation to perform the Construction Management services required for the design, bidding, construction and post construction phases of the project.

The "Financial Score" used in the selection process will be based on the "Total Cost for the Project" (see below) although an initial contract will be awarded for Design Phase Services only. Bidding, construction and post-construction phase services will later be added by amendment to the initial contract (also ref. Article 5.0, EVALUATION CRITERIA

PROCESS, Phase 2 Step 3).

Design Phase Services (to include detailed cost estimates, constructability and interdisciplinary coordination reviews for each design phase).

\$ _____

Bid and Award Phase Services (The CM shall provide a breakdown estimate for each bid package as determined by the agreed upon master schedule.)

\$ _____

Construction Phase Staffing Services
(based on the Construction Staffing Standardization Matrix)

\$ _____

Construction Phase jobsite general conditions

\$ _____

Bonds

\$ _____

Insurance

\$ _____

Overhead & Profit

\$ _____

Post Construction Phase Services

\$ _____

Total Cost for the Project

\$ _____

8.2 Additional Cost to Complete

Additional fees for work the Owner requires on the part of the Construction Manager beyond the scope of services of this Request for Proposal shall be negotiated based on the additional services required.

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FOR CONSTRUCTION BY A CONSTRUCTION MANAGER AT RISK
Western Kentucky University Planning Design and Construction

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GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION BY A
CONSTRUCTION MANAGER AT RISK
Western Kentucky University
Planning Design and Construction

These General Conditions are binding upon the Construction Manager and all Sub-contractors as each are subject to the provisions contained herein.

ARTICLE 1 - DEFINITIONS

- 1.1 Wherever used in these General Conditions or in other Contract Documents, the following terms have the meaning indicated which are applicable to both the singular and plural thereof:
- 1.1.1 ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS (ASI) - The term "ASI" means a written order issued by the Consultant that clarifies or interprets the Contract Documents, that orders minor changes in the Work, that does not require an adjustment in either cost or time, and that does not require a Change Order.
- 1.1.2 BUSINESS DAY - The term "Business Day" means a Calendar Day that is not a Saturday, Sunday or legal holiday.
- 1.1.3 CALENDAR DAY - The term "Calendar Day" means a day of twenty-four hours measured from midnight to the next midnight
- 1.1.4 CHANGE ORDER - The term "Change Order" means a written order to the Construction Manager, signed by the Owner and issued after the execution of the Contract, directing a change in the Work or an adjustment in the Contract Amount or the Contract Time. A Change Order may be an agreed change by the Construction Manager and the Owner or it may be a unilateral change by the Owner.
- 1.1.5 CONSULTANT - The term "Consultant" means the person and/or entity, whether singular or plural, either Architect, Engineer or other Consultant, who is or are identified as such in the Contract Documents.
- 1.1.6 CONSTRUCTION MANAGER or CONSTRUCTION MANAGER AT RISK (CM) - The term "Construction Manager" or "Construction Manager at Risk" (CM) means the person or entity who will or has entered into a contract with the Owner that assumes the risk for construction of the Project as the construction manager, and who will provide consultation and collaboration regarding the construction during and after design of the Project. The CM shall execute and hold all construction Trade Contracts and Purchase Orders for the Project.
- 1.1.7 CONTRACT - The term "Contract" means the Contract between Owner and Construction Manager and consists of all Contract Documents as defined in Article 1.1.10 of these General Conditions.

- 1.1.8 CONTRACT AMOUNT - The term "Contract Amount" means the sum stated in the Agreement which represents the total amount payable by the Owner to the Construction Manager for the performance of the Work under the Contract Documents, plus or minus adjustments as provided for in the Contract Documents or by approved Change Orders.
- 1.1.9 CONTRACT DOCUMENTS - The "Contract Documents" include the Agreement of Contract between the Owner and the Construction Manager (the Agreement"); the Request for Proposal; the General Conditions; the Special Conditions; the Construction Manager's Form of Proposal; the Construction Manager's Bonds; the Specifications, Drawings and Addenda for the construction of the Project which are to be used for bidding of the bid pack/Trade Contracts; and any Change Orders issued after execution of this Contract. The Contract Documents shall not be construed to create a contractual relationship of any kind between the Owner and any Sub-contractor, or any person or entity other than the Construction Manager. Documents not included or expressly contemplated in this Article do not, and shall not, form any part of the Contract for Construction. Without limiting the generality of the foregoing, shop drawings and other submittals from the Construction Manager or its Sub-contractors and suppliers do not constitute a part of the Contract Documents. Except as otherwise provided, where these Contract Documents obligate the Construction Manager to certain responsibilities or require the Construction Manager to perform certain actions, the Construction Manager may require these same responsibilities and/or actions of one or more Sub-contractors. However, assignment of such responsibilities or actions to one or more Sub-contractors shall not be construed to relieve the Construction Manager of its obligation to the University under this contract.
- 1.1.10 CONTRACT TIME - The term "Contract Time", unless otherwise provided, means the specified number of consecutive Calendar Days following the stipulated commencement of the Work as stated in the Work Order, plus or minus adjustments as provided for by approved Change Orders, within which the Construction Manager shall complete the Work required by the Contract and shall achieve certification of substantial and final completion.
- 1.1.11 KRS REFERENCES - Reference to "KRS" means the "Kentucky Revised Statutes" adopted by the Commonwealth of Kentucky, including all laws that may have been revised, amended, supplemented or new laws enacted.
- 1.1.12 OWNER - The term "Owner" means the Western Kentucky University, a statutory body corporate existing pursuant to Sections 164.100 et seq. of the Kentucky Revised Statutes.
- 1.1.13 PROJECT - The term "Project" means the total construction of the Work performed under the Contract Documents, which may be the whole or a part, and which may include construction by the Owner or by separate contracts.
- 1.1.14 PROJECT MANAGER - The term "Project Manager", when used alone, means the

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Owner's representative responsible for administration and management of the Project. The Owner's Project Manager during construction shall be the designated Western Kentucky University Capital Projects Management Project Manager that is in charge of the Project. The term "CM Project Manager" means the individual employed by the Construction Manager who is assigned to the Project to provide overall management during both the design and construction phases of the Project, and who has total responsibility for the successful completion of the Project

- 1.1.15 PROVIDE - The term "Provide," as used throughout the specifications, shall mean furnish, install and pay for.
- 1.1.16 SHOP DRAWINGS - The term "Shop Drawings" means drawings, diagrams, schedules, and other data specially prepared for the Work by the Construction Manager or any Sub-contractor, manufacturer, supplier, or distributor to illustrate some portion of the Work.
- 1.1.17 SUBSTANTIAL COMPLETION - The term "Substantial Completion" is the point at which, as certified in writing by the Owner, a project is at the level of completion, in strict compliance with the contract, where (a) necessary approval by public regulatory authorities (and by other authorities having jurisdiction or as identified in Article 11.2, as necessary) has been given; (b) the Owner has received all required warranties and documentation, and (c) the Owner may enjoy beneficial use or occupancy and may use, operate, and maintain the project in all respects, for its intended purpose. Partial use or occupancy shall not necessarily result in the project being deemed substantially complete and shall not be evidence of Substantial Completion. In order for the Owner to enjoy beneficial use or occupancy and use, operate, and maintain the project in all respects, for its intended purpose, the stage or progress of the Work or a designated portion thereof shall be sufficiently complete, accessible, operable and usable, and all parts, systems and site Work shall be 100% complete, cleaned and available for the Owner's full use without interruption in accordance with the Contract Documents, including but not limited to the provisions of Article 28 of these General Conditions. The Work will not be considered acceptable for Substantial Completion review until all Project systems included in the Work are operational as designed and scheduled, all designated or required governmental inspections and certifications have been made and approvals provided to the Owner, designated instruction of the Owner's personnel in the operation of systems has been completed, and all final finishes within the Contract Documents are in place. In general, the only remaining Work shall be minor in nature so that the Owner and/or the Owner's tenants could occupy the Project on that date and the completion of the Work by the Construction Manager would not materially interfere or hamper the Owner's or the Owner's tenants' normal business operations. As a further condition of Substantial Completion acceptance, the Construction Manager shall certify in writing that all remaining Work, the same being solely of a "punch list" nature, will be completed within thirty (30) consecutive Calendar Days following the date of Substantial Completion.

- 1.1.17.1 The parties agree that "substantial completion" as defined in Article No. 2 of the Agreement and Article 1 of the General Conditions, as extended by approved Change Order(s) pursuant to Article 18.1 of the General Conditions, shall be the "date of completion specified in the contract" for purposes of KRS. 45A.250(2).
- 1.1.18 SUB-CONTRACTOR - The term "Sub-contractor" means the person, company, corporation, joint venture or other legal entity with whom the Construction Manager has executed a Contract for a portion of the Work.
- 1.1.19 WORK - The term "Work" means the scope of construction and services required by the Contract Documents and all approved Change Orders, whether completed or partially completed, and includes all other labor, materials, equipment, and services provided or to be provided by the Construction Manager to perform and complete the Construction Manager's obligations under the Contract in an expeditious, orderly and workmanlike manner. The Work may constitute the whole or a part of the Project.
- 1.1.20 WORK ORDER - The term "Work Order" means a written notice by the Owner to the Construction Manager authorizing the Construction Manager to commence Work under the Contract and establishing the beginning date from which the time for Substantial and Final Completion shall be established.
- 1.1.21 UNIT PRICE - The term "Unit Price" means the amount per unit of measurement for materials or services as described in the bid documents.

ARTICLE 2 - CONSULTANT

- 2.1 The Consultant will be the Owner's representative during construction and until the Work is complete. The Consultant will advise and consult with the Owner. The Owner's instructions to the Construction Manager may be forwarded through the Consultant.
- 2.2 The Consultant will regularly, but no less frequently than monthly, visit the site to become familiar with the progress of the Work, the quality of the Work being provided and to determine if the work is proceeding in accordance with the Contract Documents. On the basis of these on-site inspections, the Consultant will inform the Owner of the progress of the Work, will advise the Owner of any defects and deficiencies observed in the Work and, when appropriate, will certify to the Owner that the Work in place equals or exceeds the amount requested by the Construction Manager on all applications for progress payments.
- 2.2.1 If applicable for the Work, the Consultant will verify to the Owner that the Construction Manager is performing erosion prevention and sediment control inspections as required by the Kentucky Division of Water Construction General Permit (KYR10) at least once every 7 days and shall include the findings in the site visit reports.
- 2.3 The Consultant will be the interpreter of the requirements of the drawings and

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specifications and any changes made to the drawings and specifications.

- 2.4 Claims, disputes, and other matters in question that arise relating to the execution or the progress of the Work shall be referred in writing to the Consultant by the Construction Manager. The Consultant will provide a response in accordance with and subject to the provisions of Article 38 of these General Conditions.
- 2.5 The Consultant will have the authority to reject Work which does not conform to the Contract Documents or to the required level of quality and performance.
- 2.6 The Consultant will review and approve, or take other appropriate action upon receipt of the Construction Manager's submittals such as Shop Drawings, product data, and samples. The review of submittals will be for general conformance with the design concept of the work, and for compliance with the information provided by the Contract Documents. Such review will not relieve the Construction Manager of any responsibility for errors or omissions in submittals, and will in no way constitute a waiver of or change to the requirements of the Contract Documents.
 - 2.6.1 The Consultant's review and response will be completed with reasonable promptness with a goal of ten (10) business days or less. The Consultant's review of a specific item shall not indicate approval of an assembly of which the item is a component.
- 2.7 The Consultant will prepare Change Orders for the Owner to direct changes in the Work. Minor changes in the Work, not involving modifications to the contract cost or completion times and that are consistent with the purpose of Work, may be directed by the Consultant through Architect's Supplemental Instructions (ASI).
- 2.8 When requested by the Construction Manager, the Consultant will conduct inspections to determine if the Project is at the level of completion required by and is in strict compliance with the Contract such that the Owner may enjoy beneficial use or occupancy and may use, operate, and maintain the project in all respects for its intended purpose, as further defined in the Contract. If the level of completion warrants, the Consultant will confirm that all necessary approvals by public regulatory authorities or other authorities having jurisdiction have been given, will confirm that the Owner has received all required warranties and documentation, will recommend dates for certification of Substantial Completion and Final Completion by the Owner, and will complete and submit the Notice of Termination of coverage under the KPDES General Permit for Storm Water Discharges Associated with Construction Activity.
- 2.9 The Construction Manager will accept direction for the Work on the Project only from the Owner's Project Manager or from the Consultant. Requests for information from the Construction Manager shall be directed to the Consultant.

ARTICLE 3 - CORRELATION AND INTENT OF CONTRACT DOCUMENTS

- 3.1 Execution of the Contract by the Construction Manager is a representation that

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the Construction Manager has or shall thoroughly and carefully examine the site of the of Work; shall timely investigate all conditions which can affect the Work or its cost, including but not limited to availability of labor, materials, supplies, water, electrical power, roads, access to the site, uncertainties of weather, water tables, the character of equipment and facilities needed to perform the Work, and local conditions under which the Work is to be performed; and further, that the Construction Manager shall insure that the documents issued for bidding by Sub-contractors reflect the results of this investigation and are adequate to complete the Work. It is the responsibility of the Construction Manager to be familiar with and comply with all Federal, State, and local laws, ordinances, and regulations which might affect those engaged in the Work, and to be familiar with the materials, equipment, or procedures to be used in the Work, or which in any other way could affect the completion of the Work. The Construction Manager shall carefully study and compare the Contract Documents with each other and with other information provided to the Construction Manager by the Consultant or the Owner pursuant to the Contract Documents and shall notify the Owner and the Consultant in writing of any errors, inconsistencies or omissions in the Contract Documents recognized by the Construction Manager. Any failure to properly familiarize itself with the proposed Work shall not relieve the Construction Manager from the responsibility for completing the Work in accordance with the Contract Documents.

- 3.2 The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the Work by the Construction Manager. All labor or materials which are reasonably inferable from the Contract Documents and which are necessary to produce the desired result, even though not specifically mentioned in the Contract Documents, shall be included in the Work at no additional cost to the Owner.
- 3.3 In the event a question arises regarding the meaning or intent of the Contract Documents, the Construction Manager shall report it by preparing an RFI to the Consultant. The Consultant shall furnish, with reasonable promptness and with a goal of three (3) business days and by whatever means as may be appropriate, additional instructions necessary for the proper execution of the Work. All such drawings and instructions shall be consistent with the Contract Documents, true developments thereof, and reasonably inferable therefrom. The Work shall be executed in conformity therewith and the Construction Manager shall do no Work without proper drawings and instructions. Items indicated on drawings as "N.I.C." or "Not In Contract" are shown for explanation purposes only and are not to be included in this Contract.
- 3.4 The Contract Documents are complementary, and what is required by one shall be binding as if required by all. In case of conflicts between the various documents, the order of precedence will be as follows: (1) Addenda, (2) Special Conditions, (3) General Conditions, (4) Technical provisions of the Specifications and (5) Drawings.
- 3.5 Any notice to the Construction Manager from the Owner regarding this Contract shall be in writing and delivery and service of such notice shall be considered

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complete when sent by certified mail to the Construction Manager at Construction Manager's last known address. Such notice may also, at the Owner's election, be hand-delivered to the Construction Manager or the Construction Manager's authorized representative.

ARTICLE 4 - PRE-CONSTRUCTION CONFERENCE

- 4.1 Following the execution of the Contract, a pre-construction conference will be held. Representatives of the Capital Project Management Division, Consultant, Construction Manager, and all major Sub-contractors shall be present to discuss the time for construction, methods and plan of operation, authority of the Consultant, procedures for handling shop drawings, progress estimates and requests for payments, and other relevant issues. The time and location of this meeting will be the responsibility of the Construction Manager in consultation with the Consultant, Owner and other interested parties.
- 4.2 Environmental aspects of the project, including erosion prevention and sediment control (EPSC) and storm water management shall be discussed during this conference. The Group shall discuss the Storm Water Pollution Prevention Plan (SWPPP) to ensure that all parties understand the requirements. During this meeting the responsibility for reading the rain gage on a daily basis will be established. The Construction Manager will identify the initial measures to be installed prior to land disturbing activities beginning. Any modifications to the SWPPP due to constructability issues should be discussed at this conference.

ARTICLE 5 - SHOP DRAWINGS

- 5.1 The Construction Manager shall submit a shop drawing and product sample submittal schedule to the Consultant establishing dates for the submission of Shop Drawings and product samples prior to the submittal of the Construction Manager's first application for payment for construction phase services. The schedule shall have been coordinated with all Sub-contractors and material suppliers as well as the Construction Manager's construction schedule and shall allow for adequate and reasonable time for review of the samples and submittals by the Consultant. The Construction Manager shall be responsible for compliance with the submittal schedule and shall insure that the submittal schedule is maintained in order to accurately reflect the status of processing all required submittals.
- 5.2 The Construction Manager shall review product samples and Shop Drawings for compliance with the requirements of the Contract Documents, and shall submit them to the Consultant in accordance with submittal procedure and schedule established. The Construction Manager's review and submittal to the Consultant of any Shop Drawing or sample shall constitute a representation to the Owner and Consultant that a) the Construction Manager has determined and verified all quantities, dimensions, field construction criteria, materials, catalog numbers, and similar data, or assumes full responsibility for doing so, and that b) each Shop

Drawing or sample has been reviewed or coordinated with the requirements of the Work and the Contract Documents. Shop Drawings and submittal requirements shall not be deemed satisfied until approvable documents are received by the Consultant. Incorrect or incomplete submittals will be returned to the Construction Manager without action. No claim for additional time or extension of the contract will be considered if such claim is the result of failure by the Construction Manager to provide correct, accurate, complete and approvable submittals.

- 5.3 The Consultant will review submittals with reasonable promptness, and take appropriate action or return submittals to the Construction Manager for corrections as may be required. The Construction Manager shall make any corrections required by the Consultant for compliance with the Contract and shall return the required number of corrected copies of Shop Drawings and resubmit new samples until approved. The Construction Manager shall direct specific attention, in writing, or on resubmitted Shop Drawings, to revisions other than the corrections called for by the Consultant on previous submissions.
- 5.4 Where a Shop Drawing or sample submission is required by the specifications, no related Work shall be commenced until the submission has been accepted in writing by the Consultant. The review and acceptance shall be only for conformance with the design concept of the Project and for compliance with the information given in the Contract Documents. The acceptance of a separate item will not indicate acceptance of the assembly in which the item functions. A copy of each accepted Shop Drawing and product sample shall be kept in good order by the Construction Manager at the site and shall be made available to the Consultant on request.
- 5.5 The Consultant's acceptance of Shop Drawings or samples shall not relieve the Construction Manager from the responsibility for any deviations from the requirements of the Contract Documents unless the Construction Manager has in writing called the Consultant's attention to such deviation at the time of submission and the Consultant has given written approval to the specific deviation. Any acceptance by the Consultant does not relieve the Construction Manager from responsibility for errors or omissions in the Shop Drawings.

ARTICLE 6 - LAYING OUT WORK

- 6.1 The Construction Manager will secure all data at the site of the building such as grades of lot, convenience of receiving and sorting material, location of public services, and other information which will have a bearing proposals or on the execution of the Work and shall address these issues in the preparation of scopes of work for the Subcontract bid packages. No allowance shall be made for failure of the Construction Manager to obtain such site information prior to submitting their proposal or to include such information in the Subcontract bid packages, and no adjustment to the Construction Manager's Contract amount or stipulated time for completion shall be allowed when due to failure by the Construction Manager to do so.

- 6.2 The Construction Manager shall be responsible for all lines, levels and measurements of all Work executed under the Contract. The Construction Manager shall verify all dimensions before laying out the Work and will be held responsible for any error resulting from failure to do so. Working from lines and levels established by the property survey or by other Contract Documents, and as shown in relation to the Work, the Construction Manager will establish and maintain bench marks and other dependable markers to set lines and levels for Work at each area of construction and elsewhere on the site as needed to properly locate each element of the entire Project. The Construction Manager shall calculate and measure from the bench marks and dependable markers required dimensions as shown (within recognized tolerances if not otherwise indicated), and shall not scale drawings to determine dimensions. The Construction Manager shall advise Sub-contractors and trades persons performing Work of marked lines and levels provided for their use in layout work. The Construction Manager shall verify layout information shown on drawings as required for the Work.
- 6.3 The Construction Manager shall be responsible for coordination of the installation of all elements of the Work, including preparation of coordination drawings if required by the Contract Documents or deemed necessary by the Construction Manager for performance of the Work.
- 6.4 If any encroachments are made by the Construction Manager or any Sub-contractor on any adjacent property, the Construction Manager shall, at the Construction Manager's expense, and within thirty (30) Calendar Days after written notice from the Owner or the Consultant, correct any encroachments and obtain approval from the owner of such adjacent property for any encroachments that cannot be feasibly corrected. The Construction Manager shall not be entitled to any adjustment to the Contract Amount or the Contract Time as a result of any such encroachment or the correction thereof.

ARTICLE 7 - PLANS, DRAWINGS, SPECIFICATIONS AND RECORD DRAWINGS

- 7.1 The cost of plans, specifications and official contract documents for use by Sub-contractors for bidding and for construction shall be borne by the Construction Manager or by the Sub-contractors. Arrangements for orders and payment for plans, specifications and other contract documents must be made with Lynn Imaging.
- 7.2 The Construction Manager shall keep one copy of all Contract Documents, including Drawings, Specifications and Shop Drawings on the site and in good order. A qualified representative of the Construction Manager shall record on these documents, from day to day as Work progresses, all changes and deviations from the Contract Documents. Prior to Substantial Completion, the Construction Manager shall complete and turn over to the Consultant the As-Built drawings, with a digital copy (in PDF format) submitted to the Owner simultaneously. The As-Built drawings shall consist of a set of drawings which indicate all field changes that were

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made to adapt to field conditions, changes resulting from Change Orders and all concealed and buried installations of piping, conduit and utility services. All buried and concealed items, both inside and outside the facility, shall be accurately located on the As-Built drawings as to depth and in relationship to not less than two permanent features such as interior or exterior wall faces. The As-Built drawings shall be clean and all changes, corrections and dimensions shall be given in a neat and legible manner in a contrasting color. For any changes or corrections in the Work which are made subsequent to the Substantial Completion Inspection, revisions shall be made to the As-Built drawings and submitted to the Consultant prior to final payment. Approval of the final payment request shall be contingent upon compliance with these provisions.

- 7.3 All drawings, specifications and copies thereof, furnished by the Consultant to the Owner, are the property of the Western Kentucky University. They shall not be used by the Consultant, Construction Manager, or any Sub-contractor or Supplier on any other Project.

ARTICLE 8 - TEMPORARY UTILITIES

- 8.1 The Construction Manager shall provide and pay for, unless modified in the Special Conditions, all temporary conveniences including, but not limited to, wiring, lighting, power and electrical outlets, heat, water, and sanitary facilities required for construction. In the event the Owner elects to make available, at no cost to the Construction Manager, the electric power required for construction activities, the electric power supplied shall not be utilized as a means to provide temporary heat or for welding.
- 8.2 The Construction Manager is responsible for paying all utility costs, whether the costs are from an outside utility company or from the University, for utility services used in the course of completing the Work. The Construction Manager shall provide temporary heating, ventilation, telephones, water, electricity, portable gas, lighting for the Work, safety lighting, security lighting, and trash removal/dumpster service for both Construction Manager and Sub-contractor use during the Project. Work and safety lighting shall be provided continuously during working hours. Security lighting shall be provided at all hours of darkness.

ARTICLE 9 - MATERIALS, EQUIPMENT, APPLIANCES, AND EMPLOYEES

- 9.1 Unless otherwise provided in the Contract Documents, the Construction Manager shall provide and pay for all materials, labor and personnel, tools, equipment, construction equipment and machinery, utilities, supplies, appliances, transportation, taxes, temporary facilities, licenses, permits and all other facilities and incidentals necessary for the furnishing, performance, testing, start-up and the proper execution and completion of the Work safely, without damage to persons and property, and in compliance with all applicable law. The Construction Manager shall furnish, erect, maintain, and remove at the completion of the Contract, all temporary installations as may be required during the construction period.
- 9.2 Immediately following the execution of each of the Trade Contracts, the Construction Manager shall determine the source of supply for all materials required under that Trade Contract and the length of time required for their delivery, and shall assure that orders are placed for such materials in sufficient time to assure delivery to the site so that such materials are available to be incorporated into the Work when needed to comply with the schedule of Work.
- 9.3 The Construction Manager shall immediately notify the Consultant in writing of any known problems with the procurement, fabrication or ordering of any materials. Unless changes are approved in writing by the Consultant, the Construction Manager will not be excused for delays in securing materials specified.
- 9.4 The Construction Manager or Sub-contractors shall not place purchase orders or issue contracts for materials, supplies, equipment and services necessary to complete this Project using the name of the Western Kentucky University. All orders placed by the Construction Manager that are related to this Project must use the name of the Construction Manager or Sub-contractor placing the order. The use of the Western Kentucky University's name for ordering purposes is strictly prohibited. Payment for all goods and services required for the completion of the Work is the sole responsibility of the Construction Manager. Any invoices received at the University that are related to this Project will be immediately forwarded to the Construction Manager. Copies of these invoices will be made and placed in the Construction Manager's file and proof must be provided that these invoices have been paid in full prior to the processing of the next scheduled application for progress payment.
- 9.5 The route for delivery of all materials to the Project shall be coordinated with the Owner's Project Manager.
- 9.6 The Construction Manager shall be responsible for the proper and adequate storage of materials and equipment. Unless otherwise provided in the Contract Documents, all materials shall be of good quality and new. Workmanship and materials supplied and incorporated into this Work shall be of first quality. The Construction Manager, if required, shall furnish satisfactory evidence as to the kind and quality of materials.

- 9.7 The Construction Manager shall at all times enforce strict discipline and good order among all employees and Sub-contractors. The conduct of all individuals performing Work or operations related to the Work is the responsibility of the Construction Manager. The consumption of alcohol or drugs on the job by any workers is strictly prohibited. Any individual apprehended under the influence of alcohol or drugs on the premises at any time shall be subject to automatic removal from the Project by the Construction Manager, the Consultant or the Owner. Improper conduct of any kind will not be permitted and may result in the offending individual, Sub-contractor or Construction Manager being barred from the Owner's premises. The Construction Manager shall not permit the employment on the Project of any person unfit or not skilled in the Work assigned.

ARTICLE 10 - ROYALTIES AND PATENTS

- 10.1 The Construction Manager shall pay all royalties and license fees. If a particular process, product or device is specified in the Contract Documents and it is known to be subject to patent rights or copyrights, the existence of such rights shall be disclosed in the Contract Documents and the Construction Manager is responsible for payment of all associated royalties. The Construction Manager hereby agrees to indemnify, defend and hold the Owner, and any subsidiary, parent, or affiliates of the Owner, or other persons or entities designated by the Owner, and their respective directors, officers, agents, employees and designees (collectively, the "Indemnities") harmless from all losses, claims, liabilities, injuries, damages and expenses, including attorneys' fees and legal expenses, that the Indemnities may incur as a result of the Construction Manager's failure to strictly comply with its obligations under this Paragraph 10.1.

ARTICLE 11 - SURVEYS, PERMITS, REGULATIONS, AND STANDARD CODES

- 11.1 The Owner will furnish only such surveys that are specifically required by the Contract Documents. Approvals, assessments, and easements for permanent structures or permanent changes in existing structures shall be secured and paid for by the Owner, unless otherwise specified. All required utility tap-on fees shall be secured and paid for by the Construction Manager, or included in a Trade Contract. All construction permits, where required by local ordinances, except excavation permit, shall be obtained by the Construction Manager, but no fee shall be charged to or paid by the Construction Manager as the Owner is exempt from such charges. A Contractor's license fee for doing business in the locale, if applicable, shall be paid for by the Construction Manager.
- 11.2 All branches of Work shown on the plans and specifications shall be executed in strict compliance with all state and federal regulations and codes, with all national codes, and with the requirements of both ADA and JCAHO when applicable.
- 11.3 Storm Water Management Compliance:

- A. Contractor (operator) shall conduct stormwater inspections according to KYR10 for sites disturbing one or more acres. Refer also to site technical specifications.
- B. WKU projects shall comply with the stormwater permitting program established by federal regulations promulgated November 16, 1990 by EPA. In Kentucky, this program falls under the KPDES permit program administered by the Kentucky Division of water. Adherence to this program shall be the responsibility of the contractor.
- C. On the WKU Campus, the program applies to all those construction sites that will disturb ground cover and topsoil. This area includes long narrow projects such as buried pipelines/conduit/sewer construction. The area of disturbance is defined as only that portion of the site where ground cover and/or topsoil is removed, as contrasted to areas where tree or shrub clearing is the only activity.
- D. Because Kentucky has a general permit in place, the application involves just the submittal of a Notice of Intent (NOI) form.
- E. The NOI form shall be submitted by the general contractor at least 7 days prior to start of construction. The applicant shall wait for a response from the agency. The agency does respond to the applicant with a copy of the relevant general permit and a letter of coverage.
- F. The construction general permit does not require runoff sampling, but there is a requirement for preparing and implementing a stormwater pollution prevention plan prior to the start of construction. This plan shall be available for review by DOW upon site inspection, although it does not need to be submitted to or approved by the agency prior to permitting. Periodic visual inspections by the permit holder are also required to verify that the erosion control plan is being followed and is working.
- G. Once construction is completed and a ground cover has been established so that erosion control measures are no longer necessary, the permit coverage itself is no longer needed. At this point, the original applicant shall submit a Notice of Termination (NOT) form to the agency.
- H. All information relating to Storm Water Permitting for Construction Sites is available at <http://www.wku.edu/ehs/stormwater/stormwater.php> or <http://www.bgky.org/publicworks/planningdesign/stormwater/index.php>
- I. The WKU Project Manager shall periodically inspect the site to verify the proper installation and maintenance of required erosion and sediment controls. These periodic inspections shall occur within two weeks of the initiation of land disturbance and monthly thereafter until such time as the project is complete and disturbed land stabilized/restored. A report will be generated following each inspection.

ARTICLE 12 - PROTECTION OF WORK, PROPERTY, AND PUBLIC

- 12.1 The Construction Manager shall continuously maintain adequate protection of all Work from damage and shall protect the Owner's property from injury or loss arising in connection with this Contract. Except as otherwise covered by Builder's Risk

insurance, the Construction Manager shall pay for any damage, injury, or loss, except such as may be directly due to errors in the Contract Documents or caused by agents or employees of the Owner. The Construction Manager shall adequately protect adjacent property as provided by law and the Contract Documents.

- 12.2 In an emergency affecting the safety of life, or of the Work, or of adjoining property, the Construction Manager, without special instruction or authorization from the Consultant or the Owner, is obligated to act to prevent such threatened damage, loss or injury.
- 12.3 The Construction Manager shall maintain fire protection as required by the Kentucky Building Code. Access to the Project site and surrounding buildings for local fire truck access during construction must be maintained. The Construction Manager shall maintain construction to allow access to new, existing or temporarily relocated standpipes, fire hydrant connections and fire alarm communication panels pursuant to Section 3018.8 of the Kentucky Building Code. If the Construction Manager utilizes the Owner's fire protection equipment, the Construction Manager shall replace any such materials lost, consumed or misplaced during the Contract period. The Construction Manager is responsible for any false alarms caused by dust created in the Work area or dust traveling to areas beyond the Work area due to inadequate dust protection barriers. Should there be a need for any existing or newly installed fire alarm system, or parts of a system that requires service, to be removed from service or disconnected, prior approval must be obtained from the Owner and the Construction Manager shall immediately provide alternate protection such as a fire watch until such systems are returned to full normal operations. When work or service is completed on a disabled fire alarm system, the Owner shall be immediately notified so the system can be placed in service.
- 12.4 The Construction Manager and Sub-contractors are responsible for the security of their own materials, tools and equipment at the Project site.
- 12.5 The Construction Manager shall provide to the Owner's Project Manager a key to Construction Manager's field office or job trailer.

ARTICLE 13 - BLASTING

- 13.1 Blasting is not allowed unless permission is granted in the Special Conditions. Should blasting be allowed by the Special Conditions, it shall be completed in accordance with all laws, regulations, ordinances and instructions contained in the Special Conditions.

ARTICLE 14 - CONSTRUCTION AND SAFETY DEVICES

- 14.1 The Construction Manager shall provide safety controls for protection of the life and health of employees and visitors. The Construction Manager will utilize precautionary methods for the prevention of damage to property, materials, supplies, and equipment, and for avoidance of work interruptions in the performance of this Contract. In order to provide such safety control, the

Construction Manager shall comply with all pertinent provisions of the Kentucky Fire Prevention Code, Kentucky Building Code, Kentucky Labor Cabinet's Division of Occupational Safety and Health Program Construction Standards and Federal Occupational Safety and Health (Construction) Standards that are in effect at the time the Contract is entered into and during the period in which the Contract is to be performed.

- 14.2 The Construction Manager shall provide a written safety program which includes all pertinent written specialty standards such as, but not limited to, Control of Hazardous Energy Sources (Lockout/Tagout), Hazard Communications Program, First Aid, Blood Borne Pathogen Program, Respirator Use Program and Hearing Conservation Program. The Construction Manager shall require all Sub-contractors to have an effective written safety program or be required to follow the Construction Manager's written safety program.
- 14.3 The Construction Manager shall maintain an accurate record of and shall report to Kentucky Labor Cabinet's Division of Occupational Safety and Health in the manner and on the forms prescribed by that Division, exposure data and all accidents resulting in death, traumatic injury, or occupational disease. The Construction Manager shall maintain an accurate record of and shall report to the Owner's Project Manager, any damage to property, materials, supplies, or equipment incident to Work under this Contract.
- 14.4 The Kentucky Labor Cabinet's Division of Occupational Safety and Health may notify the Construction Manager of any noncompliance with the foregoing provisions. The Construction Manager shall, upon receipt of such notice, immediately correct the cited conditions. Notice delivered to the Construction Manager or the Construction Manager's representative at the site of the Work shall be deemed sufficient for this purpose. If the Construction Manager fails or refuses to comply promptly, the Owner may issue an order stopping all or part of the Work until satisfactory corrective action has been taken. Failure or refusal to comply with the order will be grounds for reducing or stopping all payments due under the Contract to the Construction Manager. No part of the construction time lost due to any such stop order shall be cause for, or the subject of a claim for, extension of time or for additional costs or damages by the Construction Manager.
- 14.5 The Construction Manager or any Sub-contractor shall immediately contact Western Kentucky University's Department of Health and Safety through the Owner's Project Manager should they be selected for an inspection by the Kentucky Occupational Safety and Health Compliance Division.
- 14.6 Compliance with the provisions of the foregoing sections by Sub-contractors shall be the responsibility of the Construction Manager.
- 14.7 Nothing in the provisions of this Article 14 shall prohibit the U.S. Department of Labor or the Kentucky Department of Labor Division of Occupational Safety and Health from enforcing pertinent occupational safety and health standards as authorized under Federal or State Occupational Safety and Health Standards.

14.8 The Construction Manager shall take all necessary precautions for the safety of employees on the Work, and shall comply with all applicable provisions of federal, state, and municipal safety laws and building codes to prevent accidents or injury to persons on, about, or adjacent to the premises where the Work is being performed. If the Construction Manager or any Sub-contractor has questions related to the health or safety required by their written safety program, they should contact the Kentucky Labor Cabinet Occupational Safety and Health Program Division of Education and Training. The Construction Manager shall designate a responsible member of the on-site work force as the safety officer and shall report to the Consultant and to the Owner the name of the person selected. The duties of the safety officer include the enforcement of safety regulations.

ARTICLE 15 - HAZARDOUS MATERIALS

15.1 If the Construction Manager encounters material reasonably believed to be or suspected to be asbestos containing material, lead, polychlorinated biphenyls (PCBs), fluorescent light bulbs and ballasts, mercury or other hazardous material, the following procedures must be followed:

15.1.1 The Construction Manager shall immediately stop work in the affected area and notify the Owner's Project Manager. The Owner's Project Manager will contact the Owner's Environmental Health and Safety unit to arrange for collection of samples, review of existing data, or other testing necessary to confirm the presence of hazardous materials. The Owner's Project Manager will notify the Construction Manager in writing of the results. Until that notification is received, the Work must not continue in the affected area.

15.1.2 If the material is confirmed to be asbestos, lead, polychlorinated biphenyls (PCBs), fluorescent light bulbs and ballasts, mercury or other hazardous material, the Owner will take appropriate action to remove the material before the Construction Manager can continue Work in the affected area.

15.1.3 The Construction Manager shall not be required to perform any Work related to asbestos, lead, polychlorinated biphenyls, or other hazardous material. The Construction Manager is advised that certain classes of building materials (thermal system insulation, sprayed or troweled surfacing materials, and resilient flooring) installed before 1981 are required by law to be treated as asbestos containing until proven otherwise. These presumed asbestos containing materials must not be disturbed without confirmation from the Owner that asbestos is not present.

15.2 The Owner, the Construction Manager, and Sub-contractors will be under the requirements of the OSHA Hazard Communication Standard (29) CFR 1910.1200. The Construction Manager and Sub-contractors must provide their own written Hazard Communication Program. The Hazard Communication Standard must include: (1) A list of the hazardous chemicals to which the Construction Manager's employees may be exposed; (2) Statement of the measures that Construction Manager's employees and Sub-contractors may take to lessen the possibility of exposure to the

hazardous materials; (3) The location of and access to the Material Safety Data Sheets (MSDS's) related to the hazardous chemicals located in the Work area; (4) Procedures that the Construction Manager's employees and Sub-contractors are to follow if they are exposed to hazardous chemicals above the Permissible Exposure Limit (PEL). Material Safety Data Sheets may be reviewed upon request by the Construction Manager or any Sub-contractor as they pertain to the Work areas of the Project. Photocopies of the MSDS's may be made by Construction Manager at its expense.

- 15.3 The Construction Manager and Sub-contractors shall provide the Owner with a list of any hazardous materials that will be used on the job site. The Construction Manager and Sub-contractors shall provide the Owner with copies of Material Data Sheets for all such materials to be used.
- 15.4 It is the policy of the Owner that PCB containing equipment will be treated by the Construction Manager and the Owner in a manner that conforms to the intent of all applicable laws and regulations (primarily 40 CFR Part 761). The following procedures shall be followed by the Construction Manager and Sub-contractors while present on the Owner's Project or other property:
(1) Only authorized, trained personnel may inspect, repair, or maintain PCB transformers; and (2) No combustible materials may be stored within a PCB transformer room or within five meters of a PCB transformer. Such materials include, but are not limited to, paints, solvents, plastic, paper, and wood. The Construction Manager shall not use rooms containing PCB transformers for storage rooms, staging areas, job site offices or break rooms. Violation of this policy may be grounds for dismissal of the offending Construction Manager and/or Sub-contractor from the Project. All PCB transformers at the Western Kentucky University are identified by a PCB label as defined in federal regulations. If the Construction Manager should have a question as to the location of a PCB transformer, it should contact the Owner's Project Manager.
- 15.5 The Construction Manager shall ensure that NO asbestos-containing materials (including but not limited to: drywall, joint compound, roof mastic or floor tile adhesive) will be install on any University project without prior written approval of the University's Environmental Health and Safety Division. Additionally, the Construction Manager shall submit MSDS sheets and have prior approval before installing any materials that contains hazardous substances or could pose an environmental hazard. If any environmental hazardous materials are installed without written approval of the University, the Construction Manager will be responsible for all material replacement cost, all removal and all other associated damages. Any materials removed shall be taken out in accordance with all applicable federal, state and local regulations.

ARTICLE 16 - INSPECTION OF WORK

- 16.1 Inspections, tests, measurements or other acts of the Consultant are for the sole purpose of assisting the Consultant in determining if the Work, materials, rate of progress, and quantities comply with the Contract Documents. These acts or

functions shall not relieve the Construction Manager from performing the Work in full compliance with the Contract Documents, nor relieve the Construction Manager from any of the responsibility for the Work assigned to it by the Contract Documents. No inspection by the Consultant shall constitute or imply acceptance. Approval of material is general and shall not constitute waiver of the Owner's right to demand full compliance with Contract Documents.

- 16.2 All Work completed and all materials incorporated for the Project are subject to inspection by the Owner, the Consultant or their representatives to determine conformance with the Contract Documents. The Owner, Consultant and their representatives shall at all times have access to the Work whenever it is in preparation or progress. The Construction Manager shall provide, at no additional cost to the Owner, any facilities necessary for sufficient and safe access to the Work to complete any inspections required. The Consultant shall be given timely notification in order to

arrange for the proper inspections to be performed on any Work outside of the normal working day or week. If the Consultant provides the Construction Manager with a list of construction milestones that require inspection, the Construction Manager shall provide the Consultant with at least five (5) Business Days written notice prior to the commencement of Work with respect to such milestone in order to permit the Consultant time to coordinate an inspection of the commencement of the applicable Work.

16.2.1 Normal Work hours are defined as a period between 7:00 a.m. and 5:00 p.m. Monday through Friday. The Construction Manager shall notify the Owner's Project Manager at least one working day prior to performance of any Work for permission to do any Work during non-normal Work hours.

- 16.3 If the Specifications, the Consultant's instructions, laws, ordinances, or any public authority require any Work to be specially inspected, tested or approved, the Construction Manager shall give the Consultant timely notice of the readiness of the Work for inspection. The Consultant shall promptly make all required inspections. If any portion of the Work should be covered contrary to the request of the Consultant, or to the requirements specifically expressed in the Contract Documents, the Work must be uncovered for inspection and observation and shall be uncovered and replaced at the Construction Manager's expense.

- 16.4 If any other portion of the Work has been covered, which the Consultant has not specifically requested to observe prior to being covered, the Consultant, with the Owner's approval, may request to see such Work and it shall be uncovered by the Construction Manager. If such Work is found to be in accordance with the Contract Documents, the cost of uncovering and replacement shall be charged to the Owner by appropriate Change Order. If such uncovered Work is not in accordance with the Contract Documents, the Construction Manager shall pay all costs for uncovering and replacement of such Work.

ARTICLE 17 - SUPERINTENDENT - SUPERVISION

- 17.1 The Construction Manager shall completely and thoroughly direct and superintend the Work in accordance with the highest standard of care for the Construction Manager's profession so as to ensure expeditious, workmanlike performance in accordance with requirements of the Contract Documents. Except as otherwise dictated by specific requirements of the Contract Documents, the Construction Manager shall be solely responsible for and have control over all construction means, methods, techniques, sequences and procedures. The Construction Manager shall be responsible for the acts and omissions of all Sub-contractors and persons directly or indirectly employed by the Construction Manager in the completion of the Work. The Construction Manager shall be responsible for coordinating and scheduling all portions of the Work unless the Contract Documents give other specific instructions. The Construction Manager shall not be relieved of obligations to perform the Work in accordance with the Contract Documents either by the activities of the Consultant in the administration of the Contract, or by tests, inspections or approvals required or performed by persons other than the Construction Manager.
- 17.2 The Construction Manager shall have a competent superintendent on the Project site at all times during the process of the Work. The superintendent shall have authority to act on the Construction Manager's behalf with regard to all aspects of performance of this Contract. The superintendent shall have such assistants with individual specialized competencies as may be necessary to fully understand and oversee all aspects of the Work. The Construction Manager shall also provide administrative, supervisory and coordinating personnel required to fully perform the Work and for interfacing the Work with other work of the Project. The superintendent and all assistants shall be physically fit for their work and capable of going to all locations where Work is being performed. A communication given to the superintendent shall be binding on the Construction Manager. Immediately after the award of Contract, the Construction Manager shall submit to the Consultant a list of Construction Manager's employees and consultants, including names, positions held, addresses, telephone numbers and emergency contact numbers.
- 17.3 The superintendent assigned shall not be changed except under the following circumstances:
- (1) Where the superintendent ceases to be employed by the Construction Manager, in which case the Construction Manager shall give timely written notice to the Owner of the impending change of the superintendent and a reasonable explanation for the change; or (2) Where the Owner or the Consultant have reasonable grounds for dissatisfaction with the performance of the superintendent and give written notice to the Construction Manager of the grounds. In either case, the Construction Manager shall obtain prior written approval from the Owner of the qualifications of the proposed replacement superintendent. Such prior approval will not be unreasonably withheld.
- 17.4 If the Owner or Consultant determines that the superintendent is not performing, or is

incompetent to perform the required Work, the Owner may direct the Construction Manager to remove the superintendent from the Project and replace the superintendent with an employee who has the necessary expertise and skills to satisfactorily perform the Work.

ARTICLE 18 - CHANGES IN THE WORK

- 18.1 The Owner, at any time after execution of the Contract, may make changes within the general scope of the Contract or issue additional instructions, require additional Work, or direct the deletion of Work. The Owner's right to make changes shall not invalidate the Contract or relieve the Construction Manager of any obligations under the Contract Documents. All such changes to the Work shall be authorized in writing by Change Order and shall be executed under the conditions of the Contract Document. Any adjustment of the Contract Amount or Time of Completion, as may be appropriate, shall be made only at the time of ordering such change. Change order proposals based on a reservation of rights, whether for additional compensation to be determined at a later date or for an extension of time to be determined at a later date, will not be considered for approval and shall be returned to the Construction Manager without action.
- 18.2 The cost or credit resulting from a change in Work shall be determined in one or more of the following ways:
- 18.2.1 By unit prices named in the Contract or additional unit prices subsequently agreed upon;
- 18.2.2 By agreement on a lump sum properly itemized and supported by sufficient substantiating data to permit evaluation;
- 18.2.3 By an amount agreed upon by the Construction Manager and the Owner as a mutually acceptable fixed or percentage fee.
- 18.3 All lump sum proposals shall include a detailed cost breakdown satisfactory to the Consultant and to the Owner for each component of Work indicating both labor and material costs. This cost breakdown shall be submitted to the Consultant promptly and with a goal of seven (7) Calendar Days or less after receipt of the proposal request.
- 18.3.1 In computing labor costs, the hourly labor rates shall not exceed a mutually agreeable combined hourly labor rate plus fringe benefits negotiated with the Owner based on a presentation of acceptable documentation by the CM. For the purposes of this Article, the term "fringe benefits" shall mean those funds transferred irrevocably to a third party for payment/distribution. In addition, there may be added by the Sub-contractor an amount agreed upon, but not to exceed ten percent (10%) of the actual cost, for overhead and profit.
- 18.3.2 The CM is entitled to a mark-up for bonds and insurance on all change orders.

For change orders coded "End User Requested Changes" or "Other Owner Requested Changes" the CM may add overhead & profit in addition to the bonds and insurance referenced above. The mark-ups shall not exceed the combined percentage for overhead and profit, bonds, and insurance stated in the CM's "Financial Proposal Summary". These mark-ups will not be added to the individual change orders but will be reconciled by amendment at the completion of the project and/or on an annual basis for those projects exceeding 12 months in duration.

- 18.4 If none of the above methods are mutually agreed upon or if the Construction Manager does not respond promptly, a change may be made by unilateral determination by the Owner and/or the Consultant of reasonable costs or savings attributable to the change, including a reasonable allowance for overhead and profit. If this method is utilized, the Construction Manager shall promptly proceed with the Work involved in the change upon receipt of a written order signed by the Owner. In such case, the Construction Manager shall keep and present an itemized accounting of labor, equipment, material and other costs, in such form as may be prescribed by the Consultant.
- 18.5 In all cases where Change Orders are determined by unit prices set forth in the Contract Documents, no amount is to be added for additional overhead and profit.
- 18.6 The Construction Manager shall keep and present in such form as the Consultant may direct, a correct account of all items comprising the net cost of such Work, together with vouchers. The determination of the Consultant and/or the Owner shall be final upon all questions of the amount and cost of extra Work and changes in the Work, and it shall include in such cost, the cost to the Construction Manager of all materials used, the cost of all labor (including social security, old age and unemployment insurance, fringe benefits to which the employee is entitled, and Workers Compensation insurance), and the fair rental of all machinery used upon the extra Work, for the period of such use, which was upon the Work before or which shall be otherwise required by or used upon the Work before or after the extra Work is done. If the extra Work requires the use of machinery not already on the Project site, or to be otherwise used upon the Work, then the cost of transportation of such machinery to and from the Project site shall be added to the fair rental value. Transportation costs shall not be allowable for distances exceeding one hundred (100) miles.
- 18.7 The Construction Manager shall not include or allow to be included in the cost of change in the Work any cost or rental of small tools, or any portion of the time of the Construction Manager or the superintendent, or any allowance for the use of capital, or for the cost of insurance or bond premium or any actual or anticipated profit, or job or office overhead. These items are considered as being covered under the added amount for general overhead addressed in Article 18.3
- 18.8 The Owner will not pay claims made for lost opportunities, claims made for lost production or production inefficiencies or claims made that are formula based.

18.9 Pending final determination of value, partial payments on account of changes in the Work may be made on recommendation of the Consultant. All Change Orders shall be in full payment and final settlement of all claims for direct, indirect and consequential costs, including all items covered and affected. Any such claim not presented by the Construction Manager for inclusion in the Change Order shall be waived.

18.10 The Consultant may authorize minor changes in the Work which do not involve additional cost or extension of the Contract Time, and which are not inconsistent with the intent of the Contract

Documents. Such changes shall be made by an ASI issued by the Consultant, and shall be binding on the Owner and the Construction Manager. The Construction Manager shall carry out such orders promptly. If the Construction Manager should claim that an ASI involves additional cost or delay to the completion of the Work, the Construction Manager shall give the Consultant written notice thereof within ten (10) Calendar Days after receipt of the written ASI. If this notification does not occur, the Construction Manager shall be deemed to have waived any right to claim or adjustment to the contract sum or to the contract completion time.

18.10.1 If the Construction Manager claims that any instructions by the Consultant involve additional cost or time extension, the Construction Manager shall give the Consultant written notice thereof within ten (10) Calendar Days after the receipt of such instructions and before proceeding to execute the change in Work. The written notice shall state the date, circumstances, whether a time extension will be requested, and the source of the order that the Construction Manager regards as a Change Order. Unless the Construction Manager acts in accordance with this procedure, any oral order shall not be treated as a change and the Construction Manager hereby waives any claim for an increase of the Contract amount or extension of the contract time.

18.11 Requests for extension of time related to changes in the Work shall be submitted in accordance with the requirements of Article 21 of these General Conditions.

18.12 Prior to final payment, the Construction Manager shall provide to the Owner a full accounting of executed change orders by and between the Construction Manager and the Trade Contracts. The Construction Manager shall also provide a reconciliation of that accounting against the executed change orders by and between the Owner and the Construction Manager.

ARTICLE 19 - RULES AND MEASUREMENTS FOR EXCAVATION

19.1 If applicable, the following Rules and Measurements shall apply to the use of Unit Prices for the excavation portion of the Work:

19.1.1 Except as provided in this Article 19 for arbitrary measurements, the quantity of excavation shall be its in-place volume before removal.

- 19.1.2 No allowance will be made for excavating additional material of any nature taken out for the convenience of the Construction Manager beyond the quantity computed under these "Rules and Measurements."
- 19.1.3 The quantities of excavation shall be computed from instrument readings taken by the Consultant's representative in vertical cross sections located at such intervals that will assure accuracy.
- 19.1.4 "Trench Excavation" for pipes shall arbitrarily be assumed to be two feet (2') wider than the outside diameter of the pipe barrel and with sides vertical.
- 19.1.5 The quantities shall be computed from plan size, or if there are no drawings, from actual measurements of the Work in place.
- 19.1.6 Each unit price shall cover, among other things, engineering (surveying) costs and keeping excavating dry.
- 19.1.7 Earth excavation for structures will be measured between the vertical planes passing 18 inches beyond the outside of the footings and from the surface of the ground to the neat lines of the bottom of the structure.
- 19.1.8 Rock excavation for structures will be measured between the vertical planes passing 18 inches beyond the outside of the footings and from the surfaces of the rock to the neat lines of the bottoms of the structures or the actual elevation of the rock ledge.
- 19.1.9 Rock excavation for pipelines trenches, unless otherwise provided for in the Specifications, shall be measured as follows: An arbitrary width of 18 inches plus the nominal diameter of the pipe multiplied by the depth from the surface the rock to six (6) inches below the invert for pipe 24 inches in diameter or less and eight (8) inches below the invert for all pipe greater than 24 inches in diameter. No additional compensation will be allowed for excavation for bell holes, gates or other purposes. The measurement of rock excavation for manholes shall be in accordance with Section 19.1.8 above.
- 19.1.10 Unclassified excavation shall be measured in the same manner as earth excavation.

ARTICLE 20 - CONCEALED CONDITIONS

- 20.1 The Contract Drawings show the approximate location of the existing and new utility lines. These lines have been identified and located as accurately as possible using available information. The Construction Manager is responsible for verifying all actual locations. If utilities require relocation or rerouting that is not shown or indicated to be relocated or rerouted, the Construction Manager shall contact and cooperate with the Consultant to make the required adjustments. Any request for change in the Contract Amount by the Construction Manager shall be made pursuant to Article 18 of the General Conditions.

- 20.2 If any charted or uncharted utility service is interrupted by activities of the Construction Manager or the Construction Manager's Sub-contractor(s) for any reason, the Construction Manager shall work continuously to restore service to the satisfaction of the Owner.
- 20.2.1 If any charted utility service, or any uncharted utility service the existence of which could have been discovered by careful examination and investigation of the site of the Work by the Construction Manager, is interrupted by activities of the Construction Manager or the Construction Manager's Sub-contractor(s) for any reason, the entire cost to restore service to the satisfaction of the Owner shall be paid by the Construction Manager. Should the Construction Manager fail to proceed with appropriate repairs in an expedient manner, the Owner reserves the right to have the work/repairs completed and the cost of such work/repairs deducted from the monies due or to become due to the Construction Manager pursuant to Article 22 of the General Conditions.
- 20.3 The Construction Manager shall promptly, but in no case more than ten (10) Calendar Days from the time of discovery, and before the conditions are disturbed, notify Consultant in writing of:
- 20.3.1 Subsurface or latent physical conditions or any condition encountered at the site which differ materially from those indicated in the Contract Documents and which were not known by Construction Manager or could not have been discovered by careful examination and investigation of the site of the proposed Work;
- 20.3.2 Unknown and unexpected physical conditions at the site, of an unusual nature, differing materially from those ordinarily encountered in the locale or generally recognized as inherent in the Work provided for in this Contract or,
- 20.3.3 Concealed or unknown conditions in an existing structure which are at variance with the conditions indicated by the Contract Documents, which are of an unusual nature, differing materially from those ordinarily encountered and generally recognized as inherent in the Work provided for in this Contract, and which were not known by the Construction Manager and could not have been discovered by careful examination and investigation of the site of the Work.
- 20.4 The Consultant shall promptly investigate the conditions discovered. If the Consultant finds that conditions, which are materially different from those ordinarily encountered and generally recognized as inherent in the Work provided for in this Contract, were not known by the Construction Manager, and could not have been discovered by careful examination and investigation of the site of the Work, have caused or would cause a material increase or decrease in the Construction Manager's cost of construction or the time required for performance of any part of the Work under this contract, the Consultant will recommend and the Owner will make an equitable adjustment in the Contract Amount and/or the time allotted for performance in the Contract Documents. Failure by the Construction Manager to provide written notice to the Owner of such claims for additional compensation or time for performance

within ten (10) Calendar Days of discovery of such conditions shall constitute a waiver by the Construction Manager of the right to make such claims. The Owner will not pay claims made for lost opportunities, claims made for lost production or production inefficiencies or claims made that are formula based.

- 20.5 If the Consultant determines that changed conditions do not exist or are not materially different and no adjustment in the Contract Amount or time is warranted, the Construction Manager shall continue performance of the Contract as directed by the Consultant. No claim by the Construction Manager under this clause shall be allowed unless the required written notice is given and the Consultant is given adequate opportunity to investigate the conditions encountered prior to disturbance. The failure of the Construction Manager to give the Consultant proper notice of a differing site condition shall not affect the Owner's right to an equitable adjustment of the contract price or time if there is a decrease in the Contract Amount or time required to perform the Work.

ARTICLE 21 - DELAYS AND EXTENSION OF TIME

21.1 It is agreed that time is of essence for each and every portion of this Contract and where additional time is allowed for the completion of the Work or any part of the Work under this Contract, the new time limit fixed by such time extension shall be of the essence of this Contract. An extension of time shall not be cause for extra compensation under this Contract, except as set forth in Article 21.10 below.

- 21.2 The Construction Manager will, subject to the provisions of Articles 21.7, 21.8 and 21.9 below, be granted an extension of time and/or relief from liquidated damages when the delay in completion of the Work is due to:

21.2.1 Any preference, priority, or allocation order duly issued by the government;

21.2.2 Unforeseeable causes beyond the control and without the fault or negligence of the Construction Manager including, but not limited to, acts of God, or of the public enemy, acts of the Owner, acts of another contractor in the performance of a contract with the Owner, floods, epidemics, quarantine restrictions, strikes, and freight embargoes.

21.2.2.1 For such delays which stop all work on the Project for thirty (30) Calendar Days or more, the Construction Manager shall be authorized at its discretion to remove its people from the site and return when the normal progress of the work may continue.

21.2.3 Regardless of the cause of a delay, the Construction Manager shall expend all reasonable effort to mitigate the impact of any delay.

21.2.4 Requests for additional time due to delays in transportation or due to failures of suppliers shall not be considered for approval.

21.3 Requests for extensions of time and/or relief from liquidated damages, except for

weather related claims, shall be made in writing not later than ten (10) Calendar Days after the beginning of the delay. Requests for extension of time or relief from liquidated damages shall be stated in numbers of whole Calendar Days.

- 21.4 Except as otherwise provided in the Contract Documents, extensions of the contractually required completion dates may be granted for unusually bad weather on the Project. Unusually bad weather as used herein means daily temperature or precipitation that exceeds the normal weather recorded and expected for the locality and/or the season or seasons of the year. For the purposes of this contract, it is mutually agreed that the following chart accurately defines the number of days in each month on which bad weather can reasonably be anticipated to impact weather dependent construction operations, and the Construction Manager shall anticipate this normal seasonal weather in the development of the Project baseline schedule.

Mean Number of Days When Max temp 32 or below	Jan.	Feb	Mar	Apr.	May	Jun	Jul.	Aug	Se p.	Oct	Nov.	Dec.
	9	6	1	0	0	0	0	0	0	0	1	5
Precip. Is 0.10 Inch or Greater	7	6	9	7	8	8	8	6	5	5	7	7

For the purpose of this Contract, "unusually bad weather" shall be interpreted as either 1) those days in a given month on which rainfall was 0.10 inch or more that exceed the number of days shown in the row for "Precip" or 2) those days in a given month on which maximum temperature was 32 degrees F or below that exceed the number of days shown in the row for "Max Temp", whichever is greater.

- 21.4.1 Requests for extension of time due to unusually bad weather that could not reasonably have been anticipated at the time of execution of the Contract shall be made in writing not later than the tenth calendar day of the month following the month in which the delay occurred.
- 21.4.2 Requests for an extension of time due to unusually bad weather shall be considered for approval only if it is shown that a) the unusual weather event delayed work on a specific weather dependent activity or activities that had been planned to be underway on the date(s) on which the weather event occurred, as shown in the most recent update to the Project schedule that had been submitted to the Owner prior to the date of the event, and b) only if the delay to that activity or activities is shown to be the proximate cause of a corresponding delay to the contractually required completion dates for the Project shown in the most recent update to the Project schedule. The actual dates on which the delay(s) occurred must be stated

and the specific activities that were directly impacted must be identified. In the event of concurrent delays, only those activities actually impacting contractually required completion dates will be considered in evaluating the merit of a delay request. Time extensions will not be considered if such adjustments do not exceed the total or remaining "float" associated with the impacted activities at the time of delay as shown in the most recent update to the Project schedule, nor for concurrent delays not caused by the Owner.

- 21.4.3 In anticipation of the possibility of delay due to unusually bad weather, the Construction Manager shall identify those activities in the baseline schedules, and those activities subsequently added to updated schedules, that might reasonably be expected to be delayed by such weather.
- 21.4.4 Delays caused by unusually bad weather shall be incorporated in the Project schedule when the schedule is next updated by showing actual dates and/or percent complete for those activities that were impacted by the unusually bad weather as well as the effects of any effort to mitigate such delays. When claims are submitted for time extensions resulting from more than one occurrence of unusually bad weather during a month, the Project schedule shall be updated to reflect such separate events sequentially so that the impact of each subsequent occurrence is shown on an adjusted Project schedule that includes all prior claims for additional time.
- 21.5 In addition to the requirements of Article 21.7 and Article 21.8 below, any request for an extension of time for strikes or lockouts shall be supported by a written statement of facts concerning the strike including, but not limited to, the dates, the craft(s) affected, the reason for the strike, efforts to resolve the dispute, and efforts to minimize the impact of the strike on the Project.
- 21.6 Approval of time extensions for changes in the Work will depend upon the extent, if any, to which the changes cause delay in the completion of the various elements of construction. The Change Order granting the time extension may provide that the Contract Time will be extended only for those specific elements so delayed and that other Work will not be altered.
- 21.7 The Contract Time will only be adjusted for causes specified above. Extensions of time will only be approved if the Construction Manager provides justification supported by the Project schedule or other acceptable data that 1) such changes are, in fact, on the critical path and extend the contractually required completion dates, and 2) the Construction Manager has expended all reasonable effort to minimize the impact of such changes on the construction schedule. No additional extension of time will be granted subsequently for claims having the basis in previously approved extensions of time.
- 21.8 In support of requests for an extension of time not caused by unusual inclement weather, and concurrently with the submittal of any such request, the Construction Manager shall submit to the Consultant and the Owner a written impact analysis

showing the influence of each such event on contractually required completion dates as shown in the updated Project schedule most recently submitted to the Owner prior to the event. The analysis shall include a partial network diagram showing a sequence of new or revised activities and/or durations that are proposed to be added to the existing schedule including related logic (a "fragnet"). This impact analysis and the fragnet shall include the new activities and/or activity revisions proposed to be added to the existing schedule and shall demonstrate the claimed impact on the critical path and the contractually required completion dates. The Construction Manager will not be granted an extension of time and/or relief from liquidated damages when the delay to completion of the work is attributable to, within the control of, or due to the fault, negligence, acts, or omissions of the Construction Manager and/or the Construction Manager's contractors, subcontractors, suppliers, or their respective employees and agents. Time extensions will not be considered in the event such adjustments do not exceed the total or remaining "float" associated with the impacted activities at the time of delay, nor for concurrent delays not caused by the Owner. In the event of concurrent delays, only that event actually impacting contractually required completion dates will be considered in adjusting the schedule and evaluating the merit of a delay claim. Requests for an extension of time which are not supported by this information shall not be considered for approval.

- 21.9 Approved extensions of time not caused by unusual inclement weather shall be incorporated in a revised schedule at the time of approval. No subsequent requests for time extension will be considered unless all previous approved time extensions have been incorporated in the Project schedule on which the requests are based.
- 21.10 Except as provided for in Article 21.10.1 through 21.10.3 below, no payment or compensation shall be made to the Construction Manager and extensions of the time fixed for completion of the Contract shall be the Construction Manager's sole remedy for any and all delays, hindrances, obstructions or impacts in the orderly progress of the Work.
- 21.10.1 In addition to the provisions of Articles 18.3 and 18.3.1 above, and subject to the requirements of Article 21.8 and 21.8.1 above, if the Owner orders changes to the scope of Work for the Project that extend the then current contractually required completion dates of the Project, the Construction Manager shall be entitled to reimbursement for job site, general conditions and staffing costs associated with such delay.
- 21.10.2 If delays, hindrances, impacts or obstructions of the Construction Manager's performance of the Contract are in whole or in part within the control of the Owner and, subject to the requirements of Article 21.8 and 21.8.1, extend contractually required completion dates of the Project, the Construction Manager shall be entitled to reimbursement for job site, general conditions and staffing costs for that portion of the costs caused by acts or omissions of the Owner.
- 21.10.3 Such reimbursements shall not include consequential or similar damages, exemplary

damages, damages based on unjust enrichment theory, formula based delay claims, or any element of home office overhead.

ARTICLE 22 - CORRECTION OF WORK BEFORE FINAL PAYMENT

- 22.1 The Construction Manager shall promptly remove from the site and replace any material and/or correct any Work found by the Consultant to be defective or that fails to conform to the requirements of the Contract, whether incorporated in the Work or not, and whether observed before or after Substantial or Final Completion. The Construction Manager shall bear all costs of removing, replacing or correcting such Work or material including the cost of additional professional services necessary, and the cost of repairing or replacing all Work of separate contractors damaged by such removal or replacement.
- 22.2 The Consultant will notify the Construction Manager and the Owner immediately upon its knowledge that additional services will be necessary. The Owner may consent to accept such nonconforming Work and materials with an appropriate adjustment in the Contract Amount. Otherwise, the Construction Manager shall promptly replace and re-execute the Work in accordance with the Contract Documents and without expense to the Owner and shall bear the expense of making good all work of other contractors destroyed or damaged by such removal or replacement. If the Construction Manager fails to commence and continue to correct non-conforming Work within a reasonable time as determined by the Consultant, the Owner may without limitation of other rights available to the Owner and without prejudice to other remedies, take any necessary action to make the necessary corrections. If the Owner makes required corrections for non conforming Work or materials, a Change Order will be issued reflecting an equitable deduction from the Contract Amount. This amount will be deducted from payments due to the Construction Manager or, if no additional payments are due, Construction Manager or the Construction Manager's surety shall be responsible for payment of this amount.

ARTICLE 23 - CORRECTION OF WORK AFTER FINAL PAYMENT

- 23.1 Neither the final certificate of payment nor any provisions in the Contract Documents shall relieve the Construction Manager of responsibility for materials and equipment incorporated into the Work that fails to meet specification requirements, or for the use of faulty materials or poor quality workmanship. If within one year after the date of Substantial Completion of the Work or designated portion thereof, any of the Work is found to be defective or not in accordance with the requirements of the Contract Documents, the Construction Manager shall correct it promptly after receipt of written notice from the Owner to do so. The Construction Manager shall correct any defects due to these conditions and pay for any damage to other Work resulting from their use. Nothing contained in this clause shall be construed to establish a period of limitation with respect to any obligation of the Construction Manager under the Contract including, but not limited to, warranties. The obligation of the Construction

Manager under this section shall be in addition to and not in limitation of any obligations imposed by special guarantees or warranties required by the Contract, given by the Construction Manager, or otherwise recognized or prescribed by law.

- 23.2 In addition to being responsible for correcting the Work and removing any non-conforming Work or materials from the job site, the Construction Manager shall bear all other costs of bringing the affected Work into compliance with the Contract requirements. This includes costs of any required additional testing and inspection services, Consultant's services, and any resulting damages to other property or to work of other contractors or of the Owner.
- 23.3 If the Construction Manager fails to correct nonconforming Work within a reasonable time as determined by the Consultant, the Owner may take necessary actions to make the necessary corrections. If the Owner makes required corrections for nonconforming Work or materials after Final Payment to the Construction Manager, the Owner shall be entitled to recover all amounts for such corrections, including costs and attorney's fees, from Construction Manager or surety.

ARTICLE 24 - TERMINATION OF CONTRACT FOR CONVENIENCE OF OWNER

- 24.1 The Owner, by written notice to the Construction Manager, may terminate this Contract in whole or in part when it is in the interest of the Owner, at the sole discretion of the Owner. In such case, the Construction Manager shall be paid for all Work in place and a reasonable allowance for profit and overhead on Work done, provided that such payments shall not exceed the total Contract price as reduced by the value of the Work as yet not completed. The Construction Manager shall not be entitled to profit and overhead on Work not performed.

ARTICLE 25- OWNER'S RIGHT TO STOP WORK

- 25.1 If the Construction Manager fails to correct defective Work as required, or persistently fails to carry out the Work in accordance with the Contract Documents, the Owner by written notice may order the Construction Manager to stop the Work or any portion of the Work until the cause for the order has been eliminated to the satisfaction of the Owner. The Consultant may stop Work without written notice for 24 hours whenever in its professional opinion such action is necessary or advisable to insure conformity with the Contract Documents. The Construction Manager shall not be entitled to an adjustment in the Contract Time or Amount under this clause in the event such stoppages are determined to be the fault of the Construction Manager or its Sub-contractor(s). The right of the Owner or Consultant to stop Work shall not give rise to a duty on the part of the Owner or Consultant to exercise this right for the benefit of the Construction Manager or others.

ARTICLE 26 -TERMINATION OF CONTRACT FOR DEFAULT ACTION OF CONSTRUCTION MANAGER

- 26.1 In addition to its rights under Articles 24 and 25, the Owner may terminate the contract upon the occurrence of any one or more of the following events:

- 26.1.1 If the Construction Manager refuses or fails to prosecute the Work (or any separable part thereof) with such diligence as will insure its completion within the agreed upon time; or if the Construction Manager fails to complete the Work within such time;
- 26.1.2 If the Construction Manager is adjudged a bankrupt or insolvent, or makes a general assignment for the benefit of creditors, or if the Construction Manager or a third party files a petition to take advantage of any debtor's act or to reorganize under the bankruptcy or similar laws concerning the Construction Manager, or if a trustee or receiver is appointed for the Construction Manager or for any of the Construction Manager's property on account of the Construction Manager's insolvency, and the Construction Manager or its successor in interest does not provide adequate assurance of future performance in accordance with the Contract within ten (10) days of receipt of a request for assurance from the Owner;
- 26.1.3 If the Construction Manager repeatedly fails to supply sufficient qualified supervision of the work, or repeatedly fails to ensure that Sub-contractors supply adequate supervision, suitable materials or equipment, or adequate numbers of skilled workmen and supervision to the Work;
- 26.1.4 If the Construction Manager repeatedly fails to make prompt payments to Sub-contractors or suppliers at any tier, or for labor, materials or equipment;
- 26.1.5 If the Construction Manager disregards laws, ordinances, rules, codes, regulations, orders or similar requirements of any public entity having jurisdiction;
- 26.1.6 If the Construction Manager disregards the authority of the Consultant or the Owner;
- 26.1.7 If the Construction Manager performs Work which deviates from the Contract Documents, and neglects or refuses to correct rejected Work; or
- 26.1.8 If the Construction Manager otherwise violates in any material way any provisions or requirements of the Contract Documents.
- 26.2 Once the Owner determines that sufficient cause exists to justify the action, the Owner may terminate the Contract without prejudice to any other right or remedy the Owner may have, after giving the Construction Manager and its Surety three (3) Calendar Days notice by issuing a written Declaration of Default. The Owner shall have the sole discretion to permit the Construction Manager to remedy the cause for the contemplated termination without waiving the Owner's right to terminate the Contract.
- 26.3 In the event that the Contract is terminated, the Owner may demand that the Construction Manager's Surety take over and complete the Work on the Contract. The Owner may require that in so doing, the Construction Manager's Surety not utilize the Construction Manager in performing the Work. Upon the failure or refusal of the Construction Manager's Surety to take over and begin completion of the

Work within twenty (20) Calendar Days after the demand, the Owner may take over the Work and prosecute it to completion as provided below.

- 26.3.1 In the event that the Contract is terminated and the Construction Manager's Surety fails or refuses to complete the Work, the Owner may take over the Work and prosecute it to completion in accordance with the laws of the Commonwealth, by contract or otherwise, and may exclude the Construction Manager from the site. The Owner may take possession of the Work and of all of the Construction Manager's tools, appliances, construction equipment, machinery, materials, and plant which may be on the site of the Work, and use the same to the full extent they could be used by the Construction Manager, without liability to the Construction Manager. At the Owner's sole discretion, the Owner has the right to take assignment of any or all portions of the contract work in order to prosecute the completion of the Work. In exercising the Owner's right to prosecute the completion of the Work, the Owner may also take possession of all materials and equipment stored at the site or for which the Owner has paid the Construction Manager but which are stored elsewhere, and finish the Work as the Owner deems expedient. In such case, the Construction Manager shall not be entitled to receive any further payment until the Work is finished.
- 26.3.2 If the unpaid balance of the Contract Price exceeds the direct and indirect costs and expenses of completing the Work including compensation for additional professional and Consultant services, such excess shall be used to pay the Construction Manager for the cost of the Work it performed and a reasonable allowance for overhead and profit. If such costs exceed the unpaid balance, the Construction Manager or the Construction Manager's Surety shall pay the difference to the Owner. In exercising the Owner's right to prosecute the completion of the Work, the Owner shall have the right to exercise its sole discretion as to the manner, methods, and reasonableness of the costs of completing the Work and the Owner shall not be required to obtain the lowest figure for Work performed in completing the Contract. In the event that the Owner takes bids for remedial Work or completion of the Project, the Construction Manager shall not be eligible for the award of such Contract.
- 26.3.3 The Construction Manager shall be liable for any damage to the Owner resulting from the termination or the Construction Manager's refusal or failure to complete the Work, and for all costs necessary for repair and completion of the Project above the amount of the Contract. The Construction Manager shall be liable for all attorney's fees, costs and expenses incurred by the Owner to enforce the provisions of the Contract.
- 26.3.4 If liquidated damages are provided in the Contract and the Owner terminates the Contract, the Construction Manager shall be liable for such liquidated damages, as provided for in Article 29.2 and 29.3 below, until Substantial Completion and Final Completion of the Work are achieved.
- 26.3.5 In the event the Contract is terminated, the termination shall not affect any rights of the Owner against the Construction Manager. The rights and remedies of the Owner

under this Article are in addition to any other rights and remedies provided by law or under this Contract. Any retention or payment of monies to the Construction Manager by the Owner will not release the Construction Manager from liability.

- 26.3.6 In the event the Contract is terminated under this Article, and it is determined for any reason that the Construction Manager was not in default under the provisions of this Article, the termination shall be deemed a Termination for Convenience of the Owner pursuant to Article 24 and the rights and obligations of the parties shall be determined in accordance with Article 24.

ARTICLE 27 - SUSPENSION OF WORK

- 27.1 The Owner or the Consultant may, at any time and without cause, order the Construction Manager in writing or cause the Construction Manager to suspend, delay or interrupt all or any part of the Work for such period of time as the Owner may determine to be appropriate for its convenience.

Adjustment may be made for any increase in the Contract time necessarily caused by such suspension or delay, in accordance with Article 21.

ARTICLE 28 - TIME OF COMPLETION

- 28.1 The Construction Manager shall begin the Work on the date of commencement as specified in the Work Order. All time limits stated in the Contract Documents are of the essence of the Contract. The actual end of the Contract Time shall be the date specified on the approved certificate of Substantial Completion. The time for completion set forth in the Contract is a binding part of the Contract upon which the Owner may rely in planning the use of the facilities to be constructed and for all other purposes.
- 28.2 Substantial Completion is defined in Article 1.1.17 of these General Conditions. Only incidental corrective Work under punch lists and final cleaning (if required) for Owner's full use shall remain for Final Completion. The ability to occupy or utilize shall include regulatory authority approval unless regulatory approval is delayed due to actions of the Owner or the Consultant. When the Owner accepts and occupies a portion of the Project, the operation, maintenance, utilities, and insurance of that portion of the Project becomes the responsibility of the Owner.
- 28.3 The date of Substantial Completion shall be that date certified by the Owner, in accordance with the following procedures, that the Work is sufficiently complete to occupy or utilize as defined above.
- 28.3.1 When the Construction Manager considers the entire Work is substantially complete as defined in Article 1.1.17 of these General Conditions, and is ready for its intended use, the Construction Manager shall notify the Consultant in writing and request an inspection. The declaration and request shall be accompanied by a list prepared by the Construction Manager of those items of Work still to be completed or corrected. The failure of the Construction Manager or Consultant to include any item or items

which are not completed or which need correction on such list shall not alter the responsibility of the Construction Manager to complete all Work in accordance with the Contract Documents.

- 28.3.2 The Consultant shall, within a reasonable time after receipt of notification from the Construction Manager of a declaration of Substantial Completion and request for inspection, make such inspection. Prior to the Substantial Completion Inspection and within sufficient time to allow the Consultant's review, the Construction Manager shall submit all As-Built drawings, Notice of Termination, catalog data, complete operating and maintenance instructions, manufacturer specifications, certificates, warranties, written guarantees and related documents required by the contract. The Consultant shall review said documents for accuracy and compliance with the Contract Documents and incorporate them into complete operating instructions and deliver them to the Owner.
- 28.3.3 If the Consultant considers the Work substantially complete, the Consultant shall recommend that the Owner prepare a Certificate of Substantial Completion which shall establish the date of Substantial Completion and the responsibilities between the Owner and Construction Manager for security, maintenance, heat, utilities and insurance, if not otherwise provided for in the Contract Documents, and a tentative list of items to be completed or corrected, and shall fix the time within which the Construction Manager shall complete the items listed therein. This time shall not exceed thirty (30) Calendar Days unless otherwise provided for in the Work Order. The Certificate of Substantial Completion shall be submitted to the Consultant and Construction Manager for their written acceptance of the responsibilities assigned to them in the certificate. The Project shall not be deemed substantially complete until the certificate is issued. If, after making the inspection, the Consultant does not consider the Work substantially complete, the Consultant will notify the Owner and the Construction Manager in writing
- 28.4 Operation and Maintenance Manual Deliverables. In anticipation and preparation of completion of the Work and the closing out of the Project, and to facilitate training of the Owner's personnel in the maintenance and operation of the new installations, the Construction Manager shall comply with the requirements of Article 8.7 of the Special Conditions. (For the purposes of this article, air test and balance reports may be submitted at a later date with the request for certification of substantial completion.) These manuals shall be submitted to the Consultant for approval, and subsequently forwarded to the Owner's Project Manager by or before the time construction is 75% complete, as reflected by the Contractor's most recently submitted Application for Payment.
- 28.4.1 The provisions of Article 30.11 notwithstanding, if the Construction Manager meets the requirements of Article 28.4 above with respect to timely submittal of approvable Operation and Maintenance manuals and provided the project construction is 1) at least 75% complete and 2) is equal to or ahead of the approved progress schedule and 3) the Work completed is in compliance with the requirements of the contract documents, the Owner, at the sole discretion of the Director, Capital Projects

Management Division may reduce the retainage to not less than three percent (5%) of the current Contract Amount. In the event the Construction Manager fails to submit acceptable O&M manuals prior to reaching 75% completion, it is agreed that the Owner at its sole discretion may deduct from the current and subsequent Applications for Payment an amount deemed by the Owner to be sufficient to encourage prompt compliance with this contractual requirement, until such time as acceptable O&M manuals are received.

28.5 Project Close Out. When the Construction Manager considers that all Work required by the Contract is 100% complete, including correction of any remaining punch list work or deficiencies, the Construction Manager shall notify the Consultant in writing and request a final inspection. The Consultant, upon receipt of written notice from the Construction Manager that the Work is complete and is ready for final inspection and acceptance, will promptly make such inspection and if the Consultant finds the Work completed and acceptable under the Contract Documents and the Contract fully performed, the Consultant will notify the Construction Manager in writing to submit, and will certify to the Owner a final Certificate for Payment in accordance with Articles 30.9 and 30.9.1 of these General Conditions. If the Construction Manager does not complete the punch items within the time designated, the Owner retains the right to have these items corrected at the expense of the Construction Manager including all architectural, engineering and inspection costs and expenses incurred by the Consultant and the Owner, and to deduct such costs and expenses from the funds being held in retainage. The Owner shall not be required to release the retainage until such items have been completed.

ARTICLE 29 - LIQUIDATED DAMAGES

- 29.1 The Owner and the Construction Manager recognize and agree that time is of the essence of this Contract and that the Owner will suffer financial loss if the Work is not completed within the time specified in the Contract plus any extensions that may be allowed. The parties further recognize the delays, expense and difficulties involved in proving the actual loss suffered by the Owner should the Work not be completed on time. The Owner and the Construction Manager agree on the amounts stated as liquidated damages in the Agreement. The Owner and Construction Manager agree that the amount stated as liquidated damages are not intended to be penalties.
- 29.2 Should the Construction Manager fail to satisfactorily complete the Work under Contract on or before the date stipulated for Substantial Completion, as adjusted by approved Change Orders, if any, the Construction Manager will be required to pay liquidated damages to the Owner for each consecutive Calendar Day that the Owner is deprived of full use of the area beyond the date specified unless otherwise stipulated elsewhere by Owner. After the date for Substantial Completion has been certified by the Owner, the Construction Manager shall cease to owe liquidated damages until the date established for Final Completion.
- 29.3 If Final Completion is not achieved by the date established for Final Completion, as adjusted by approved Change Orders, if any, liquidated damages in the amount

stipulated in the Agreement will become due and collectable. The Contract will be considered complete and Final Completion shall be deemed to have occurred when all Work has been completed in compliance with the Contract Documents and the Certificate of Final Completion has been issued by the Owner. No deduction or payment of liquidated damages will, in any degree, release the Construction Manager from further obligations and liabilities to complete the entire Contract. Permitting the Construction Manager to continue and finish the Work, or any part of it, after expiration of the Contract Time, shall in no way constitute a waiver on the part of the Owner of any liquidated damages due under the Contract.

ARTICLE 30 - PAYMENT TO THE CONSTRUCTION MANAGER

- 30.1 Payments on account of this Contract shall be made monthly as Work progresses. The Construction Manager shall submit to the Consultant, in the manner and form prescribed, an application for each payment, and, if required, receipts or other vouchers showing payments made for materials and labor, including payments to Sub-contractors. All payments shall be subject to any withholding or retainage provisions of this contract. All pay request documents, except the final payment, shall be submitted in whole dollar amounts. All payment applications from the Construction Manager shall include line items for overhead, profit and general condition costs.
- 30.2 The Consultant shall, within ten (10) Business Days after receipt of each application for payment, certify approval of payment in writing to the Owner and present the application to the Owner, or return the application to the Construction Manager indicating in writing its reasons for refusing to approve payment. The Owner, provided no exception is taken to the application for payment submitted by the Consultant, will issue payment on or within thirty (30) Business Days from the date received from the Consultant. A reasonable delay on the part of the Owner in making payment to the Construction Manager for any given payment shall not be grounds for breach of Contract. The Consultant may refuse to approve the whole or any part of any payment if it would be incorrect to make such presentation to the Owner.
- 30.3 If payment is requested on the basis of materials and equipment not incorporated in the Work, but delivered and suitably stored at an off jobsite location agreed to in writing by the Owner that meets the manufacturer's requirements for the stored material and not-comingled with other material, the Construction Manager must furnish the following:
- 30.3.1 A list of the materials consigned to the Project (which shall be clearly identified), giving the place of storage, together with copies of invoices.
- 30.3.2 Certification that all items have been tagged for delivery to the Project and that they will not be used for any other purpose.
- 30.3.3 A letter from the Surety indicating that the Surety agrees to the arrangements and that payment to the Construction Manager shall not relieve either the Construction

Manager or its Surety of their responsibility to complete the Work.

- 30.3.4 Evidence of adequate insurance listing the Owner as an additional insured covering the material in storage.
- 30.3.5 Evidence that representatives of the Consultant have visited the Construction Manager's place of storage and checked all items listed on the Construction Manager's certificate. They shall certify, insofar as possible, that the items are in agreement with the Specifications and approve their incorporation into the Project.
- 30.4 The Owner will pay 80% of the invoiced value less retainage for materials stored off site providing the above conditions are met.
- 30.5 The Construction Manager's signature on each subsequent application for payment shall certify that all previous progress payments received on account of the Work have been applied to discharge in full all of the Construction Manager's obligations reflected in prior applications for payment.
- 30.6 Each payment made to the Construction Manager shall be on account of the total amount payable to the Construction Manager and the Construction Manager warrants and guarantees that the title to all materials, equipment and Work covered by the paid partial payment shall become the sole property of Owner free and clear of all encumbrances. Nothing in this Article shall be construed as relieving Construction Manager from the sole responsibility for care and protection of materials, equipment and Work upon which payments have been made or restoration of any damaged Work or as a waiver of the right of Owner to require fulfillment of all terms of the Contract Documents.
- 30.7 Within thirty (30) Calendar Days of the award of any Trade Contracts, and prior to submitting the next application for payment, the Construction Manager shall submit to the Consultant and the Owner for approval a detailed breakdown of the Contract Amount including all trade contracts that have been awarded as of the date of that application for payment pursuant to CSI specification divisions, divided so as to facilitate payment and correlated to the schedule required by General Conditions Article 32 of the Contract Documents. The total value of all activities shall add up to the Contract Amount. When approved by the Consultant and the Owner, this schedule shall be used as a basis for Construction Manager's applications for payment and may be used by the Owner to determine costs or credits resulting from changes in the Work. Failure to obtain the approval of the Schedules of Values shall be a basis for withholding payment to the Construction Manager.
- 30.8 Retainage – The Owner will retain ten percent (10%) of the Construction Manager's progress payments, including amounts claimed for construction management fee until fifty one percent (51%) of the construction project has been completed. Thereafter, if the Work is fully in compliance with the requirements of the Contract and except as provided for in Article 28.4.1 above, the Owner shall retain five percent (5%) of the total contract amount until Substantial Completion and acceptance of all Work covered by this Contract, as collateral security to insure

successful completion of the Work. For the purposes of this Article, the term "in full compliance" shall mean 1) that the progress of the Work is equal to or ahead of that predicted by the Project Baseline schedule and 2) the Work completed is in compliance with the requirements of the contract documents. Subsequent to the issuance of the Substantial Completion Certificate and depending upon the cost involved for the completion and/or correction of punch list items, the Consultant may recommend to the Owner an adjustment to the amount being held as retainage and, if approved by Owner, the amount of retainage may then be reduced and a sufficient sum retained by Owner to assure completion of the remaining unfinished Work. Retainage reduction as provided for in this Article 30.8 is contingent upon the Construction Manager and/or Sub-contractors being on or ahead of the approved progress schedule and on verification by the Consultant that the Work completed is in compliance with the requirements of the contract documents.

30.8.1 In addition to the retainage set forth above, the Owner may withhold from any monthly progress payments or nullify any progress payments in whole or in part as necessary to protect the Owner from loss on account of:

30.8.1.1 Defective Work which has not been remedied or completed Work which has been damaged requiring correction or replacement, or

30.8.1.2 Action required by the Owner to correct Defective Work or complete Work which the Construction Manager has failed or refused to correct or complete, or

30.8.1.3 Failure of the Construction Manager to perform any of its obligations under the Contract, or

30.8.1.4 Failure of the Construction Manager to make payment properly to Sub-contractors; suppliers of material, services or labor; or to reimburse the University for utilities or other services as provided for in the Contract;

30.8.1.5 Amounts to be withheld as liquidated damages for failure to complete the Project in the allotted Contract time.

30.8.2 When the Owner is satisfied that the Construction Manager has remedied any such deficiency, payments shall be made of the amount being withheld on the next scheduled application for payment.

30.9 Final Payment – When all Work is completed and acceptable and the Contract is fully performed, the Construction Manager will be directed to submit a final payment application for certification and the entire balance shall be due and payable upon a certification of completion by the Consultant that the Work is in accordance with the Contract Documents. Final change order reconciliation as per Article 18.12 must be provided prior to final payment.

30.9.1 Upon issuance of the Certificate of Final Completion by the Owner and submittal by

the Construction Manager of all required documents and releases, all retained amounts shall be paid to the Construction Manager as part of the Final Payment. By accepting such payment, the Construction Manager certifies that all amounts due or that may become due to any Sub-contractor, any Consultant of the Construction Manager, or any vendors or material suppliers, have been paid or will be paid from the proceeds of the final payment; and that, further, there are not liens, claims or disputes involving the Owner or the Consultant that are outstanding or unresolved.

- 30.10 The Construction Manager shall promptly pay each Sub-contractor and material supplier upon receipt of payment from the Owner the amount to which said Sub-contractor and supplier is entitled, reflecting the percentage actually retained from payments to the Construction Manager on account of such Sub-contractor's work. The Construction Manager shall, by an appropriate Agreement with each Sub-contractor and material supplier, require each Sub-contractor and supplier to make payments to their sub-contractors, vendors and suppliers in similar manner.

The Consultant may, on request, furnish to any Sub-contractor or material supplier information regarding the percentages of completion applied for by the Construction Manager and the action thereon by the Consultant.

- 30.11 Neither the Owner nor the Consultant shall have any obligation to make payment to any Sub-contractor or material supplier except as may otherwise be required by law.

ARTICLE 31 - AUDITS

- 31.1 The Construction Manager's Trade Contractors', sub-contractors' and/or vendor's "records" shall upon reasonable notice be open to inspection and subject to audit and/or reproduction during normal business working hours as may be deemed necessary by the Owner at its sole discretion.

Such audits may be performed by an Owner's representative or an outside representative engaged by the Owner. The Owner or its designee may conduct such audits or inspections throughout the term of this contract and for a period of three years after final payment, or longer if required by law. Owner's representative may (without limitation) conduct verifications such as counting employees at the Construction Site, witnessing the distribution of payroll, verifying information and amounts through interviews and written confirmations with Construction Manager's employees, field and agency labor, Trade Contractors and vendors.

- 31.2 "Records" as referred to in this Contract shall include any and all information, materials and data of every kind and character, including without limitation, records, books, papers, documents, subscriptions, superintendents' reports, drawings, receipts, vouchers and memoranda, and any and all other agreements, sources of information and matters that may in the Owner's judgment have any bearing on or pertain to any matters, rights, duties or obligations under or covered by any Contract Document. Such records shall include hard copy, as well as computer readable data if it can be made available, written policies and procedures; time sheets; payroll registers; cancelled payroll checks; subcontract files (including proposals of successful and unsuccessful bidders, bid recaps, etc.); original

estimates; estimating work sheets; correspondence; change order files (including documentation covering negotiated settlements); back charge logs and supporting documentation; invoices and related payment documentation; general ledger; records detailing cash and trade discounts earned; insurance rebates and dividends; and any other Construction Manager or contractor records which may have a bearing on matters of interest to the Owner in connection with the Construction Manager's dealings with the Owner (all foregoing hereinafter referred to as the "records") to the extent necessary to adequately permit evaluation and verification of any or all of the following:

Compliance with Contract requirements for deliverables;

Compliance with approved plans and specifications;

Compliance with Owner's business ethics expectations;

Compliance with Contract provisions regarding the pricing of change orders;

Accuracy of Construction Manager representations regarding pricing of invoices; and Accuracy of Construction Manager representations related to claims submitted by the Construction Manager or its payees.

- 31.3 The Construction Manager shall require all payees (examples of payees include Trade Contractors, Sub-contractors, vendors, and/or material suppliers) to comply with the provisions of this Article by including the requirements hereof in a written contract agreement between the Construction Manager and payees. Such requirements to include flow-down right of audit provisions in contracts with payees will also apply to Subcontractors and Sub-subcontractors, material suppliers, etc. The Construction Manager will cooperate fully and will cause all related parties and all of the Construction Manager's Trade Contractors and/or subcontractors (including those entering into lump sum subcontracts) to cooperate fully in furnishing or in making available to Owner from time to time whenever requested, in an expeditious manner, any and all such information, materials and data.
- 31.4 Owner's authorized representative or designee shall have reasonable access to the Construction Manager's facilities, shall be allowed to interview all current or former employees to discuss matters pertinent to the performance of this contract and shall provide adequate and appropriate work space in order to conduct audits in compliance with this Article. The Construction Manager and its payees agree bear their costs and expenses relating to any inspections and audits.
- 31.5 If an audit inspection or examination in accordance with this Article discovers any fraud or misrepresentation, or discloses overpricing or overcharges (of any nature) by the Construction Manager to the Owner, in addition to making adjustments for the overcharges, the reasonable actual cost of the Owner's audit shall be reimbursed to the Owner by the Construction Manager. Any adjustments and/or payments that must be made as a result of any such audit or inspection of the Construction Manager's invoices and/or records shall be made within Ninety (90) Calendar Days from presentation of the Owner's findings to the Construction Manager.
- 31.6 The provisions of Articles 31.1, 31.2 and 31.5 notwithstanding, the Owner shall have the right to conduct inspections and audits of any matter relating to the Contract

Documents or the Work, which shall be for the Owner's sole benefit and shall not relieve the Construction manager, its sureties, contractors, subcontractors suppliers and their respective employees and agents of any obligations under the Contract Documents.

- 31.7 Any audits or inspections under Article 31 shall not constitute a waiver of any right the Owner has to accounting or discovery of records in the possession, custody or control of the Construction Manager, its sureties, contractors, subcontractors, vendors and their respective employees and agents

ARTICLE 32 - PROGRESS & SCHEDULING

32.1 If requested by the Owner during the Design Phase of the Project, and working in cooperation with the Owner and the Consultant(s), the Construction Manager shall prepare a Critical Path Method (CPM) type Design Phase schedule incorporating design phase and review activities through completion of the design and bidding of the Trade Contracts, shall include in this Design Phase schedule the broad categories of Work to be accomplished in the subsequent implementation of the design and construction of the Project, and shall modify and update this Design Phase schedule as necessary to reflect the actual status and then current plan for the Project.

- 32.2 The schedules submitted for this Project shall be prepared using Primavera P6 scheduling software. If approved by the University, and at the sole discretion of the University, schedules submitted using earlier versions of Primavera scheduling software (Primavera SureTrak or Primavera P3) may be converted to Primavera P6 format by the University for review purposes. However, the University will not be responsible for any inaccuracies that may result from such conversions.

32.2.1 Prior to bidding Trade Contracts, the Construction Manager shall prepare and submit to the Owner and the Consultant a preliminary CPM construction schedule for the Work that will be included in the Project bidding documents.

3.2.2.2 The schedules submitted for this Project shall coordinate Work in accordance with all schedules included in the Owner's approved Program. Construction work shall be scheduled and executed such that operations of the University are given first priority. This applies particularly to outages and restriction of access.

- 32.2.3 The schedules submitted for this Project shall not exceed time limits established for the Project. Schedules which reflect a duration less than the Contract Time are for the convenience of the Construction Manager and shall not be the basis of any claim for delay or extension of time.

- 32.2.4 Schedules shall be revised at appropriate intervals as required by the condition of the Work and the Project, shall be related to the entire Project to the extent required by the Contract Documents, and shall provide for expeditious and practicable execution of the Work.

- 32.2.5 The Construction Manager shall also submit a payment schedule indicating the percentage of the Contract Amount and the amount of the anticipated monthly payments that will be requested as the Project proceeds.
- 32.2.6 The Owner may withhold approval of all or a portion of progress payments until the progress payment schedule and construction schedule have been submitted by the Construction Manager.
- 32.3 The Construction Manager shall prepare and keep current, for the Consultant's approval, a separate schedule of submittals coordinated with the Construction Manager's CPM construction schedule that provides reasonable time for the Consultant to review the submittals.
- 32.4 The Construction Manager shall cause the work to be performed pursuant to the most recent schedules.

ARTICLE 33 - USE OF COMPLETED PORTIONS

- 33.1 Upon mutual Agreement between the Owner, Construction Manager, and Consultant, the Owner may use a completed portion of the Project after an inspection is made. Such possession and use shall not be deemed as acceptance of any Work not completed in accordance with the Contract Documents, nor shall such possession and use be considered to alter warranty obligations or cause any warranty period to commence prior to Substantial Completion.

ARTICLE 34 - INDEMNIFICATION

- 34.1 To the fullest extent permitted by law, the Construction Manager shall indemnify and hold harmless the Owner, its consultants, and their respective employees and agents from and against all claims, damages, losses and expenses, including attorney's fees, provided that any such claim, loss, damage or expense: (a) is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property (other than the Work itself) including the loss of use resulting therefrom, and (b) is caused in whole or in part by any negligent act or omission of the Construction Manager, any Sub-contractor or material supplier, anyone directly or indirectly employed by any of them or anyone for whose acts any of them may be liable. This basic obligation to indemnify shall not be construed to nullify or reduce other indemnification rights which the Owner, its consultants, and their respective employees and agents would otherwise have.
- 34.2 The Construction Manager shall also indemnify and hold harmless the Owner, its consultants, and their respective employees and agents from any claims relating to the Project brought against the Owner, its consultants, and their respective employees and agents by any Sub-contractor unless such claims are due to the gross negligence or misconduct of the Owner or Consultant.
- 34.3 In any and all claims against the Owner its consultants, and their respective employees and agents, by any employee of the Construction Manager, any Sub-

contractor, any one directly or indirectly employed by any of them or anyone for whose acts any of them may be liable, the indemnification obligation under this Article shall not be limited in any way by any limitation on the amount or type of damages, compensation or benefits payable by or for the Construction Manager or any Sub-contractor under Worker's Compensation acts, disability benefit acts or other employee benefit acts.

- 34.4 The obligations of the Construction Manager under this Article shall not extend to the liability of the Consultant, his agents or employees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, Change Orders, designs or specifications, or (2) the giving of or the failure to give directions or instructions by the Consultant, his agents or employees, provided such giving or failure to give is the primary cause of injury or damage.

ARTICLE 35 - INSURANCE

- 35.1 The Construction Manager shall furnish the Owner the Certificates of Insurance or other acceptable evidence that insurance is effective, and guarantee the maintenance of such coverage during the term of the Contract. Each policy of insurance, except Workers Compensation, shall name the Western Kentucky University and the directors, officers, trustees and employees of the University as additional insured on a primary and non-contributory basis as their interest appears. Waiver of subrogation in favor of the Western Kentucky University shall apply to all policies. Any endorsements required to validate such waiver of subrogation shall be obtained by the Construction Manager at the Construction Manager's expense.
- 35.2 The Construction Manager shall not commence, nor allow any Sub-contractor to commence Work under this Contract, until the Owner has reviewed the certificates and approved coverages and limits as satisfying the requirements of the bidding process.
- 35.3 Workers' Compensation and Employers' Liability Insurance. The Construction Manager shall acquire and maintain Workers' Compensation insurance with Kentucky's statutory limits and Employers' Liability insurance as defined in the Special Conditions for all employees who will be working at the Project site. In the event any Work is sublet, the Construction Manager shall require any Sub-contractor to provide proof of this insurance for the Sub-contractors' employees, unless such employees are covered by insurance provided by the Construction Manager.
- 35.4. The Construction Manager shall either require each Sub-contractor to procure and maintain insurance of the type and limits stated during the terms of the Contract, or insure the activities of such Sub-contractors under a blanket form as described below:
- 35.4.1 Commercial General Liability Insurance. The Construction Manager shall acquire and maintain a Broad Form Comprehensive General Liability (CGL) Insurance Policy

including premises- operations, products/completed operations, blanket contractual, broad form property damage, real property fire legal liability and personal injury liability coverage. The Insurance Policy must be on an "occurrence" form only, unless approved by the Owner. Contractual liability must be endorsed to include defense costs. Products and completed operations insurance must be carried for two years following completion of the Work. Policies which contain Absolute Pollution Exclusion endorsements are not acceptable. Coverage must include pollution from "hostile fires". Where required by the risks involved, Explosion, Collapse and Underground (XCU) coverages shall be added by endorsement. If the work involved requires the use of helicopters, a separate aviation liability policy as defined in the Special Conditions will be required. If cranes and rigging are involved, a separate inland marine policy with liability limits as defined in the Special Conditions will be required.

35.4.1.1 The limits of liability shall not be less than defined in the Special Conditions.

35.4.2 Comprehensive Automobile Liability Insurance. The Construction Manager shall show proof and guarantee the maintenance of insurance to cover all owned, hired, leased or non-owned vehicles used on the Project. Coverage shall be for all vehicles including off the road tractors, cranes and rigging equipment and include pollution liability from vehicle upset or overturn. Policy limits shall not be less than defined in the Special Conditions.

35.4.3 Excess or Umbrella Liability Insurance. The Construction Manager shall acquire and maintain a policy of excess liability insurance in an umbrella form for excess coverages over the required primary policies of broad form commercial general liability insurance, business automobile liability insurance and employers' liability insurance. This policy shall have a minimum as defined in the Special Conditions for each occurrence in excess of the applicable limits in the primary policies. The excess liability policy shall not contain an absolute pollution exclusion and shall include coverages for pollution that may occur due to hostile fires and vehicle upset and overturn. The limits shall be increased as appropriate to cover any anticipated special exposures.

35.5 Builders Risk Insurance. The Construction Manager shall purchase and maintain an "all risk" Builder's Risk Insurance policy upon the Work at the site to the full insurable value thereof. Such insurance shall include interests of the Owner, Construction Manager, and all Sub-contractors and of their subcontractors. It shall insure against perils of fire, extended coverage, vandalism and malicious mischief. Construction Manager's work performed, and materials to be incorporated into the project and stored on the jobsite, will be covered. Builder's Risk does not include temporary buildings, or Construction Manager or Construction Manager's tools, equipment, or trailers and contents.

35.6 Insurance Agent and Company Insurance as required in the bidding process of the Project shall be written according to applicable state law in Kentucky. The policies shall be written by an insurer duly authorized to do business in Kentucky in compliance with KRS: 304.1-.100 and -110.

ARTICLE 36 - PERFORMANCE AND PAYMENT BONDS

- 36.1 The Construction Manager shall furnish a Performance Bond in the form provided in the Contract Documents in the full amount of the Contract Amount as security for the faithful performance of the Contract. The Construction Manager shall also furnish a Payment Bond in the form provided in the Contract Documents in the full amount of the Contract Amount for the protection of all persons performing labor or furnishing materials, equipment or supplies for the Construction Manager or its Sub-contractors for the performance of the Work provided for in the Contract, including security for payment of all unemployment contributions which become due and payable under Kentucky Unemployment Insurance Law.
- 36.2 Each bond furnished by the Construction manager shall incorporate by reference the terms of the Contract as fully as though they were set forth verbatim in such bonds. In the event the Contract Amount is adjusted by Change Order, the penal sum of both the performance bond and the payment bond shall be deemed increased by like amounts.
- 36.3 The performance and payment bonds shall be executed by a surety company authorized to do business in the Commonwealth of Kentucky, and the contract instrument of bonds must be countersigned by a duly appointed and licensed resident agent.

ARTICLE 37 - DAMAGED FACILITIES

- 37.1 The Construction Manager shall repair or replace, at no expense to the Owner, any damaged section of existing buildings, paving, landscaping, streets, drives, utilities, watersheds, etc. caused by Work performed under the Contract or incidental thereto, whether by the Construction Manager's own forces, Sub-contractors or by material suppliers. Such repair or replacement shall be performed by craftsmen skilled and experienced in the trade or craft for the original Work.
- 37.2 Water damage to the interior of any building caused by Work performed under the Contract or incidental thereto, whether by the Construction Manager's own forces, Sub-contractors, or by material suppliers, and whether occurring in a new or existing building, shall be repaired by the Construction Manager at the Construction Manager's expense, and any materials damaged inside the building, including personal property, shall be repaired or replaced at the full replacement cost by the Construction Manager at the Construction Manager's expense.
- 37.3 For existing buildings, the Construction Manager, along with the Owner's Representative and Consultant, will tour the Project site to evaluate existing conditions and determine any existing damage before any Work on this Contract is done.

- 37.4 Should the Construction Manager fail to proceed with appropriate repairs in an expedient manner, the Owner reserves the right to have the Work/repairs completed and deduct the cost of such Work/repairs from amounts due or to become due to the Construction Manager. If the Owner deems it not expedient to repair the damaged Work, or if repairs are not done in accordance with the Contract, an equitable deduction from the Contract price shall be made.

ARTICLE 38 - CLAIMS & DISPUTE RESOLUTION

- 38.1 All Construction Manager's claims and disputes shall be referred to the Consultant for review and recommendation. All claims shall be made in writing to the Consultant and to the Owner's Project Manager not more than ten (10) days from the occurrence of the event which gives rise to the claim or dispute, or not more than ten (10) days from the date that the Construction Manager knew or should have known of the claim or dispute. Unless the claim is made in accordance with these requirements, it shall be waived. Any claim not submitted before Final Payment shall be waived. The Consultant shall render a written decision within fifteen (15) days following receipt of a written demand for the resolution of a claim or dispute.
- 38.1.1 The provisions of Article 43.2 notwithstanding, claims and disputes between the Construction Manager and any Sub-contractor or supplier shall not be referred to the Consultant except to request interpretation and/or clarification of the intent of the plans or specifications. Such claims and disputes between the Construction Manager and any Sub-contractor shall be resolved between those parties as required by Article 43.4 of these General Conditions.
- 38.2 The Consultant's decision shall be final and binding on the Construction Manager unless the Construction Manager submits to the Consultant and the Owner's Project Manager a written notice of appeal within fifteen (15) Calendar Days of the Consultant's decision. The Construction Manager must present within fifteen (15) Calendar Days of such notice to appeal a narrative claim in writing with complete supporting documentation. After receiving the written claim, the Project Manager will review the materials relating to the claim and may meet with the Consultant and/or the Construction Manager to discuss the merits of the claim. The Project Manager will render a decision within thirty (30) Calendar Days after receiving the written claim and supporting documentation. The decision of the Project Manager shall be final and binding pending further appeal as provided for in Article 39. If the Consultant or the Project Manager do not issue a written decision within thirty (30) calendar days after receiving the claim and supporting documentation, or within a longer period as may be established by the parties to the Contract in writing, then the Construction Manager may proceed as if an adverse decision had been received.
- 38.3 If the Project Manager does not agree with the Consultant's decision on a claim by the Construction Manager, the Project Manager shall notify the Construction Manager and the Consultant and direct the Construction Manager to perform the Work about which the claim was made and the Construction Manager shall proceed with such Work in accordance with the Project Manager's instruction. If the

Construction Manager disagrees with a decision of the Project Manager concerning a Construction Manager's claim, the Construction Manager shall proceed with the Work as indicated by the Project Manager's decision.

- 38.4 The Construction Manager shall continue to diligently pursue Work under the Contract pending resolution of any dispute, and the Owner shall continue to pay for undisputed work in place.

ARTICLE 39 - CLAIMS FOR DAMAGE

39.1 Should either party to the Contract suffer damage because of wrongful act or neglect of the other party, or of anyone employed by them, or others for whose act they are legally liable, or if other controversy should arise under the Contract, such claim or controversy shall be made in writing to the other party within thirty (30) days after the first occurrence of the event. Prior to the institution of any action in court, the claim or controversy (together with supporting data) shall be presented in writing to the Director of the Capital Project Management Division at the Western Kentucky University ("Director") or his designee. The Director, or designee, is authorized, subject to any limitations or conditions imposed by regulations, to settle, comprise, pay, or otherwise adjust the claim or controversy with the Construction Manager. The Director, or designee, shall promptly issue a decision in writing. A copy of the decision shall be mailed or otherwise furnished to the Construction Manager. The decision rendered shall be final and conclusive unless the Construction Manager files suit pursuant to KRS 45A.245. If the Director, or designee, does not issue a written decision within one hundred and twenty (120) days after written request for a final decision, or within a longer period as may be established by the parties to the Contract in writing, then the Construction Manager may proceed as if an adverse decision had been received.

- 39.2 Any legal action on the Contract shall be brought in the Franklin Circuit Court and shall be tried by the Court sitting without a jury. All defenses in law or equity, except the defense of government immunity, shall be preserved to the Owner. The Owner shall recover from the Construction Manager all attorney's fees, costs and expenses incurred to the extent the Owner prevails in defending or prosecuting each claim in litigation of disputes under the Contract. The Owner is the prevailing party under this provision and is entitled to recover attorneys' fees, costs and expenses on a claim-by-claim basis to the extent the Owner successfully defeats or prosecutes each claim. A recovery of a net judgment by the Construction Manager shall not be determinative of the Owner's right to recover attorneys' fees, expenses and costs. Rather, such a determination shall be made based on the extent that the Owner successfully defends or prosecutes each distinct claim in litigation under the Contract, even if the Owner does not prevail on every claim. The Construction Manager shall be liable to the Owner for all attorney's fees, costs and expenses incurred by the Owner to enforce the provisions of the Contract.

ARTICLE 40 - LIENS

- 40.1 The filing and perfection of liens for labor, materials, supplies, and rental equipment

supplied on the Work are governed by KRS 376.195 et seq.

- 40.2 Statements of lien shall be filed with the Fayette County Clerk and any action to enforce the same must be instituted in the Fayette Circuit Court, pursuant to KRS 376.250 (5).
- 40.3 The lien shall attach only to any unpaid balance due the Construction Manager for the improvement from the time a copy of statement of lien, attested by the Fayette County Clerk, is delivered to the Owner, pursuant to the provisions of KRS 376.240.

ARTICLE 41 - ASSIGNMENT

41.1 Neither party to the Contract shall assign the Contract, or any portion thereof without the prior written consent of the other, which consent may be granted or withheld in the granting party's sole and absolute discretion. The Construction Manager shall not assign any amount or part of the Contract or any of the funds to be received under the Contract unless the Construction Manager has the prior written approval of the Owner (which approval may be granted or withheld in the Owner's sole and absolute discretion) and the Surety on the Construction Manager's bond has given written consent to any such assignment.

ARTICLE 42 - SEPARATE CONTRACTS

- 42.1 The Owner reserves the right to enter into other Contracts in connection with the Project or to perform any work with the Owner's forces in the normal sequence of the work as depicted in the then current construction schedule. Except for work performed by University personnel, such contracts shall be assignable to the Construction Manager and shall contain the same terms and conditions as the contracts between the Construction Manager and the Sub-contractors. The Construction Manager will be entitled to a maximum of three percent (3%) overhead and profit on the value of such assigned contracts. The Construction Manager shall afford other contractors reasonable opportunity for the introduction and storage of their materials and the execution of their work and shall properly connect and coordinate its Work with theirs in such manner as the Consultant may direct.
- 42.2 Should the Construction Manager cause damage to any separate contractor on the Work, and the separate contractor sues the Owner on account of any damage alleged to have been so sustained, the Construction Manager shall be responsible for all costs, attorney's fees and expenses incurred by the Owner for defending such proceedings unless the Owner prevails on behalf of the Construction Manager in which case fees and expenses will be the responsibility of the separate contractor and if any judgment against the Owner arises therefrom, the Construction Manager shall pay or satisfy it and shall pay all costs, attorney's fees and expenses incurred by the Owner.

- 42.3 If any part of the Construction Manager's Work depends upon the work of any other separate contractor, the Construction Manager shall promptly report to the Consultant any observed defects in such work that render it unsuitable for proper execution connection. The failure to inspect and report shall constitute an acceptance of the other contractor's work as fit and proper for the reception of the work, except as to defects which may develop in the other contractor's work after the execution of the work.
- 42.4 Whenever work being done by the Owner's forces or by other contractors is contiguous to work covered by this Contract, the respective rights of the various parties involved shall be established by the Owner to secure the completion of the various portions of the Work in general harmony.

ARTICLE 43 - CONSTRUCTION MANAGER/SUB-CONTRACTOR RELATIONSHIP

- 43.1 The Construction Manager is fully responsible to the Owner for the acts and omissions of the Sub-contractors and of persons either directly or indirectly employed by them. The Construction Manager is responsible for the acts and omissions of persons employed directly by the Construction Manager and for the coordination of the Work, including placement and fittings of the various component parts. No claims for extra costs as a result of the failure to coordinate the Work, or by acts or omissions of the various Sub-contractors, will be paid by the Owner.
- 43.2 Except as otherwise provided in these Contract Documents, the Construction Manager agrees to bind every Sub-contractor by the terms and conditions of the Contract Documents as far as applicable to their portion of the Work. Upon request, the Construction Manager shall provide copies of any subcontracts and purchase orders to the Owner or Consultant.
- 43.3 The Construction Manager shall make no substitution or change in any Sub-contractor listed and accepted by the Consultant or Owner except as approved in writing by the Owner. The Construction Manager shall not employ any Sub-contractor or supplier against whom the Owner or the Consultant has made reasonable and timely objection. The Construction Manager (CM) will not be allowed to self-perform work or bid on any of the proposed work categories unless a subcontractor fails to perform and upon prior approval by the Universities authorized representatives."
- 43.4 Nothing contained in the Contract Documents shall create any contractual relationship between the Owner and any Sub-contractor, Trade Contractor or Supplier, nor shall the Construction Manager include any language in their contracts with any Sub-contractor, Trade Contractor and/or Supplier that might imply such a relationship. The Construction Manager is hereby notified that it is the Construction Manager's contractual obligation to settle disputes between Sub-contractors, Trade Contractors, and/or Suppliers. Neither the Owner nor the Consultant will settle disputes between the Construction Manager and any Sub-contractor, Trade Contractor, and/or Supplier or between Sub-contractors, Trade Contractors, and/or Suppliers.

- 43.4.1 The Owner does not waive sovereign immunity under KRS 45A.245(1) for any claim or claims made by parties not having a written contract with the Western Kentucky University.
- 43.4.2 Third party and/or flow-through type claims, from Sub-contractors and/or suppliers or any other entity not having a written contract directly with the University, are specifically prohibited by this Contract and no provision of the Construction Manager's contracts with such entities shall indicate otherwise.
- 43.4.3 The Construction Manager shall indemnify and hold harmless the Owner and its agents and employees from any claims relating to the Project brought against the Owner by any of the Construction Manager's Sub-contractors or suppliers, or between their sub-contractors or suppliers.

ARTICLE 44 - CASH ALLOWANCE

- 44.1 The Construction Manager is to provide or require the Sub-contractor(s) to include in the Contract Amount all costs necessary to complete the Work. Costs based on "allowances" shall be permitted only for objectively quantifiable material items and only with the prior written approval of the Owner.

ARTICLE 45 - PROJECT SITE LIMITS

- 45.1 The Construction Manager shall confine the apparatus, the storage of materials, and the operations of Workmen to Project site limits indicated in the Contract Documents and as permitted by law, ordinances, and permits, and shall not unreasonably encumber the site with materials and equipment.

ARTICLE 46 - CLEAN UP

- 46.1 The Construction Manager shall at all times keep the premises free from accumulation of waste material or rubbish caused by the operations in connection with the Work. All corridors and exit doors must be kept clear at all times. All exit ways, walks, and drives must be kept free of debris, materials, tools and vehicles.
- 46.2 At the completion of the Work, and prior to final inspection and acceptance, the Construction Manager shall remove all remaining waste materials, rubbish, Construction Manager's construction equipment, tools, machinery, and surplus materials and shall leave the Work in a clean and usable condition, satisfactory to the Consultant and the Owner. If the Construction Manager fails to clean up as provided in the Contract Documents, the Owner may perform the cleaning tasks and charge the cost to the Construction Manager.

ARTICLE 47 - POINTS OF REFERENCE

- 47.1 The Construction Manager shall carefully preserve bench marks, reference points and

stakes, and in case of willful or careless destruction, the Construction Manager shall be charged with the resulting expense of replacement and shall be responsible for any mistake that may be caused by their loss or disturbance.

ARTICLE 48 - SUBSTITUTION - MATERIALS AND EQUIPMENT

48.1 Reference to or the listing of items to be incorporated in the construction without referring to any specific article, device, equipment, product, material, fixture, patented process, form, method or type of construction, or by name, make, trade name, or catalog number shall be interpreted as establishing the general intent of the Contract and the general standard of quality for that item.

48.2 Specific references in the Contract Documents to any article, device, equipment, product, material, fixture, patented process, form, method or type of construction, or by name, make, trade name, or catalog number, with the words "or equal", shall be interpreted as establishing a minimum standard of quality, and shall not be construed as limiting competition.

48.2.1 Substitution of other equipment and materials as "or equal" to items named in the specifications will be allowed provided the proposed substitution is approved by the Consultant and will perform the functions called for by the general design, be similar and of equal quality to that specified and be suited to the same use and capable of performing the same function of that specified. The Construction Manager has the burden to prove equality of any substitution requested.

48.3 Specific references in the Contract Documents to any article, device, equipment, product, material, fixture, patented process, form, method or type of construction, or by name, make, trade name, or catalog number, without the words "or equal", shall be interpreted as defining an item or source that has after careful consideration been determined by the University as necessary to be compliant with, and/or to function properly within, the University operational system. No substitutions will be allowed.

48.3.1 In the event the Contract Documents contain specific reference to two or more items as described in Article 48.3, any of those listed will be acceptable.

48.4 Substitution of equipment and materials previously submitted by the Construction Manager and approved by the Consultant will be considered only for the following reasons:

48.4.1 Unavailability of the materials or equipment due to conditions beyond the control of the supplier.

48.4.2 Inability of the supplier to meet Contract Schedule.

48.4.3 Technical noncompliance to specifications.

48.5 In substituting materials or equipment, the Construction Manager assumes

responsibility for any changes in systems or modifications required in adjacent or related work to accommodate such substitutions, despite consultant approval, and all costs associated with the substitution shall be the responsibility of the Construction Manager. The Consultant shall be reimbursed by the Construction Manager for any architectural or engineering revisions required as the result of such substitutions.

- 48.6 Inclusion of a certain make or type of materials or equipment in the Construction Manager's bid proposal shall not obligate the Owner to accept such materials or equipment if they do not meet the requirements of the Contract Documents and any such substitutions in the preparation of the bid without written approval shall be at the sole risk of the Construction Manager.

ARTICLE 49 - TEST AND INSPECTION

- 49.1 Regulatory agencies of the government having jurisdiction may require any Work to be inspected, tested or approved. The Construction Manager shall assume full responsibility therefore, pay all costs in connection therewith, unless otherwise noted, and furnish the Consultant the required certificates of inspection, testing or approval.
- 49.2 The Construction Manager shall give the Consultant timely notice of readiness of the Work for all inspections, tests or approvals.
- 49.3 The technical specifications may indicate specific testing requirements to be performed by the Construction Manager. Unless otherwise provided in the Contract Documents, the cost of all such testing shall be the responsibility of the Construction Manager. Testing shall be completed using a testing facility or laboratory approved by the Owner.
- 49.4 The costs of all inspection fees as may be required to construct and occupy the Work shall be the responsibility of the Construction Manager.

ARTICLE 50 - WARRANTY

- 50.1 The Construction Manager warrants to the Owner and the Consultant that all materials and equipment furnished under this Contract shall be new and in accordance with the requirements of the Contract Documents, and that all Work shall be of good quality, free from faults and defects and in conformance with the Contract Documents. If required by the Consultant or the Owner, the Construction Manager shall furnish satisfactory evidence as to the kind and quality of materials and equipment. If the Construction Manager requests approval of a substitution of material or equipment, the Construction Manager warrants that such installation, construction, material, or equipment will equally perform the function for which the original material or equipment was specified. The Construction Manager explicitly warrants the merchantability, the fitness for a particular purpose, and quality of all substituted items in addition to any warranty given by the manufacturer and/or

supplier. Approval of any such substitution is understood to rely on such warrant of performance. Prior to the Substantial Completion inspection, the Construction Manager shall deliver to the Consultant all warranties and operating instructions required under the Contract or to which the Construction Manager is entitled from manufacturers, suppliers, and Sub-contractors. All warranties for products and materials incorporated into the Work shall begin on the date of Substantial Completion. The warranty provided in this Article 50 shall be in addition to and not a limitation of any other warranty or remedy required by law or by the Contract Documents, and such warranty shall be interpreted to require the Construction Manager to replace defective material and equipment and re-execute defective Work which is disclosed to the Construction Manager by or on behalf of the Owner within a period of one (1) year after Substantial Completion of the entire Work in addition to other warranty obligations beyond one year from Substantial Completion as provided for by law or by the Contract Documents.

- 50.2 Neither the final payment, any provision in the Contract Documents nor partial or entire use or occupancy of the premises by the Owner shall constitute an acceptance of Work not done in accordance with Contract Documents or relieve the Construction Manager or its Sureties of liability with respect to any warranties or responsibilities for faulty materials and workmanship. The Construction Manager or its sureties shall remedy any defects in Work and any resulting damage to Work at the Construction Manager's own expense. The Construction Manager shall be liable for correction of all damage resulting from defective Work. If the Construction Manager fails to remedy any defects or damage, the Owner may correct Work or repair damages and the cost and expense incurred in such event shall be paid by or be recoverable from the Construction Manager or the surety. The Owner will give notice of observed defects with reasonable promptness.
- 50.3 The Construction Manager shall guarantee that labor, material, and equipment will be free of defects for a period of one (1) year from the date shown on the Certificate of Substantial Completion unless special conditions or additional warranty periods are required by the contract pursuant to Article 23 in addition to warranty obligations which extend beyond one year from Substantial Completion. The Owner will give notice of observed defects with reasonable promptness. Expendable items and wear from ordinary use are excluded from this warranty.
- 50.4 Should the Construction Manager be required to perform tests that must be delayed due to climate conditions, it is understood that such tests will be accomplished by the Construction Manager at the earliest possible date with provisions of the general warranty beginning upon satisfactory completion of said test. The responsibility of the Construction Manager under this Article will not be abrogated if the Owner should elect to initiate final payment. If the Owner initiates final payment, consent of Construction Manager's surety acknowledging that Work not yet tested is required. The Construction Manager shall warrant that the entire Project will conform to the Contract Documents.
- 50.5 In addition to the foregoing, the Construction Manager shall warrant for a period of one

(1) year that all buildings and other improvements constructed as a part of the Work shall be watertight and leak proof at every point and in every area. The Construction Manager shall, immediately upon notification by or on behalf of the Owner of water penetration, determine the source of water penetration and, at the Construction Manager's expense, (a) do any work necessary to make such buildings or improvements watertight and (b) repair and replace any other damaged material, finishes and furnishings damaged as a result of such water penetration and return the buildings or other improvements to their original condition.

50.6 The Construction Manager shall address and resolve to the Owner's satisfaction any warranty claims made by or on behalf of the Owner during the above described warranty period and all repairs and replacements made by the Construction Manager pursuant to this Article 50 shall be warranted by the Construction Manager, on the terms set forth in this Article 50, for a period of time commencing upon the completion of such repairs and replacements and ending on the later of (a) the expiration of the one (1) year warranty period provided for above or (b) six (6) months after the date such repair or replacement is completed.

50.7 All costs, attorney's fees and expenses incurred by the Owner as a result of the Construction Manager's failure to honor any warranty for the Work shall be paid by or recoverable from the Construction Manager.

ARTICLE 51 - PREVAILING WAGE LAW REQUIREMENTS (NO LONGER USED AS OF 1/9/17)

ARTICLE 52 - APPRENTICES

52.1 Apprentices (for all classifications of work) shall be permitted to work only under an apprenticeship agreement approved by the Kentucky Supervisor of Apprenticeship and by the Kentucky Apprenticeship and Training, United States Department of Labor.

ARTICLE 53 - GOVERNING LAW

53.1 This Contract and all issues and disputes arising out of this Contract shall be governed by, construed and enforced in accordance with the laws of the Commonwealth of Kentucky without consideration of its conflicts of laws principles.

ARTICLE 54 - NONDISCRIMINATION IN EMPLOYMENT

During the performance of the Contract, the Contractor agrees as follows:

1. The Contractor will not discriminate against any employee or applicant for employment because of race, color, religion, sex, age, national origin, or disability in employment. The Contractor will take affirmative action to ensure that applicants are employed, and that employees are treated during employment without regard to their race, color, religion, sex, age, national origin, or disability in employment. Such action shall include, but not be

limited to the following: employment, upgrading, demotion or transfer, recruitment or recruitment advertising, layoff or termination, rates of pay or other forms of compensation, and selection for training, including apprenticeship. The Contractor agrees to post in conspicuous places available to employees and applicants for employment, notices to be provided setting forth the provisions of this nondiscrimination clause.

2. The Contractor will, in all solicitations or advertisements for employees placed by or on behalf of the Contractor, state that all qualified applicants will receive consideration for employment without regard to race, color, religion, sex, age, national origin or disability in employment.
3. The Contractor will send to each labor union or representatives of workers with which it has a collective bargaining agreement or other Contract or understanding, a notice advising the said labor union or workers' representatives of the Contractor's commitments under this Article, and shall post copies of the notice in conspicuous places available to employees and applicants for employment.
4. Failure to comply with the above nondiscrimination clause constitutes a material breach of Contract,

ARTICLE 55 - AFFIRMATIVE ACTION; REPORTING REQUIREMENTS

55.1 The Construction Manager and any Sub-contractor is exempt from any affirmative action or reporting requirements, under the Kentucky Equal Employment Opportunity Act of 1978, KRS

45.550 to KRS 45.640 "The Act", if any of the following conditions are applicable:

55.1.1 The Trade Contract awarded is in the amount of two hundred and fifty thousand dollars (\$250,000.00) or less, and the amount of the Trade Contract is not a subterfuge to avoid compliance with the provisions of the Act;

55.1.2 The Construction Manager or Sub-contractor utilizes the services of fewer than eight (8) employees during the course of the Contract;

55.1.3

The Construction Manager or Sub-contractor employs only family members or relatives;

55.1.4 The Construction Manager or Sub-contractor employs only persons having a direct ownership interest in the business and such interest is not a subterfuge to avoid compliance with the provisions of The Act.

55.2 The Construction Manager and any Sub-contractor, not otherwise exempted, shall:

55.2.1 For the length of the Contract, hire DBE's from within the drawing area to satisfy the agreed upon goals and timetables. Should the union with which the General Contractor or Sub-contractor have collective bargaining agreements be unwilling to provide sufficient DBE's to satisfy the agreed upon goals and timetables, the General Contractor and Sub-contractors shall hire DBE's from other sources within the drawing area.

Diverse Business Enterprises (DBE) consist of minority, women, disabled, veteran and disabled veteran owned business firms that are at least fifty-one percent owned and operated by an individual(s) of the aforementioned categories. Also included in this category are disabled business enterprises and non-profit work centers for the blind and severely disabled. MBE, WBE, Veterans, Disabled Veterans and Disabled make up Diverse Business Enterprises (DBE)

55.2.2 The equal employment provisions of The Act may be met in part by the Construction Manager contracting to a DBE contractor or Sub-contractor. A DBE contractor, or Sub-contractor shall mean a business established under the definition of a DBE in Article 55.2.1

55.2.3 The Construction Manager shall, for the length of the Contract, furnish such information as required by The Act and by such rules, regulations and orders issued pursuant thereto and will permit access by the contracting agency and the department to all books and records pertaining to its employment practices and Work sites for purposes of investigation to ascertain compliance with The Act and such rules, regulations and orders issued pursuant thereto.

55.3 If the Construction Manager is found to have committed an unlawful practice against a provision of The Act during the course of performing under this Contract, a Trade Contract or a subcontract covered under The Act, the Owner may cancel or terminate the Contract, conditioned upon a program for future compliance approved by the Owner. The Owner may also declare such Construction Manager ineligible to submit proposals on further contracts until such time as the Construction Manager complies in full with the requirements of The Act.

55.4 Any provisions of The Act notwithstanding, the Construction Manager shall not be required to terminate an existing employee, upon proof that employee was employed prior to the date of the Contract, nor to hire anyone who fails to demonstrate the minimum skills required to perform a particular job.

END OF DOCUMENT

**AGREEMENT BETWEEN
WESTERN KENTUCKY UNIVERSITY
AND CONTRACTOR**

THIS AGREEMENT, made the **Insert Day** day of **Insert Month** **Insert Year** by and between

Insert Contractor Name ("Contractor"),
Insert Contractor Address

and

WESTERN KENTUCKY UNIVERSITY, ("Owner"),

is to bind the parties hereto to the principles and terms set forth herein, and shall be binding upon the parties hereto.

WITNESSETH, that the Contractor and Owner for the consideration hereinafter named, agree as follows:

ARTICLE 1 - SCOPE OF WORK

The contractor shall furnish all of the materials and perform all the Work described in the Specifications and/or shown on the Drawings entitled:

**COLLEGE OF BUSINESS
BID #: WKU-
WESTERN KENTUCKY UNIVERSITY**

which Specifications and/or Drawings are incorporated in and made a part thereof .

ARTICLE 2 - TIME OF COMPLETION

The Contractor must begin Work specified by the written Work Order from the Owner. **Substantial Completion** shall be **XXX calendar days** after the stipulated commencement date with **Final Completion being 30 calendar days** after the date of Substantial Completion.

ARTICLE 3 - LIQUIDATED DAMAGES

It is mutually understood and agreed by and between the parties hereto that time is of the essence in the performance of this contract and that the Owner will sustain substantial monetary and other damages in the event of a failure or delay by the Contractor in the completion of the Work. It is further understood and agreed upon and made part of this Contract that the Work must be begun, performed, and completed without delay by the Contractor and if the Contractor fails to begin, perform without interruption, and complete said Work in due and proper time, the Contractor may be declared in default of this Agreement. If the Work is not substantially complete within the time required in Article 2 of this Agreement, the Contractor shall pay to the Owner, as liquidated damages for delay and not as a penalty, the sum of **\$1,500.00** for each and every day after the date of Substantial Completion until the date of actual Substantial Completion. If the Work is not finally completed within the time required in the preceding Article 2 of this Agreement, the Contractor shall pay to the Owner, as liquidated damages for delay and not as a penalty, the sum of **\$2,000.00** for each and every day after the date of Final Completion until the date of actual Final Completion. In no event shall liquidated damages for delay in Final Completion be due before the date required for Final Completion in Article No. 2 of this Agreement. This

**AGREEMENT BETWEEN
WESTERN KENTUCKY UNIVERSITY
AND CONTRACTOR**

provision for liquidated damages is intended to compensate the Owner for delay only and shall not preclude the Owner from making claims for other damages.

If the Work is not commenced by the Contractor at the time specified in Article 2 of this Agreement, then the Contractor and its surety or sureties shall be liable for and pay to the Owner all damages sustained by reason of such failure or breach of contract and the Owner may immediately award the Work to the next responsible and responsive bidder.

ARTICLE 4 - THE CONTRACT AMOUNT

Subject to additions and deductions for Change Orders made in accordance with the Contract Documents, the Owner shall pay the Contractor as full consideration for the Contractor's satisfactory performance of the Contract obligations the sum of:

\$Insert Dollars in Figures

Insert Dollars in Words

ARTICLE 5 - PROPOSED PAYMENTS

The Owner shall make periodic partial payments in accordance with the General Conditions for Work satisfactorily completed and for materials suitably stored at the site of the Work as estimated by the Consultant, less retainage and the aggregate of previous payments.

ARTICLE 6 - ACCEPTANCE AND FINAL PAYMENT

Final payment shall be due thirty (30) days after Final Completion of the Work, provided, that all Work has been fully completed in accordance with the Contract Documents as evidenced by a certificate by the Consultant for the project, and acceptance by the Owner.

The Contractor shall submit with the final estimate evidence satisfactory to the Consultant that all payrolls, material bills and other indebtedness connected with the Work have been paid or that provisions for the satisfaction thereof have been made. If, after the Work has been substantially completed, final completion of the Work is delayed through no fault of the Contractor, the Owner may pay to the Contractor from the remaining balance of funds for this Agreement a sum equal to the value of that portion of the Work fully completed and accepted by the Owner as provided in this Agreement.

ARTICLE 7 - THE CONTRACT DOCUMENTS

The Contract Documents consist of this Agreement, all Addenda, the Contractor's Bid Form, the General Conditions, the Special Conditions, the Contractor's Bonds, the Specifications, the Drawings and Change Orders issued after execution of the Contract for the Work described in Article 1 of this Agreement, all of which are incorporated in and made a part hereof by reference, and which shall be binding upon the Contractor and the Owner.

**AGREEMENT BETWEEN
WESTERN KENTUCKY UNIVERSITY
AND CONTRACTOR**

ARTICLE 8 - CONTRACT ADJUSTMENTS

The Owner, without invalidating this Agreement may make adjustments to the Work as provided by KRS 45A.200 (1), and may order extra Work or make changes by altering, adding to or deducting from the Work. All such Work shall be executed and paid for in accordance with the General Conditions of the Contract.

ARTICLE 9 - SPECIAL NOTICE

The Contractor hereby certifies that it is fully informed of the conditions relating to construction and labor under which the Work under this Agreement is to be performed, and agrees that it shall employ, methods and means in carrying out the Work so as not to interfere with or interrupt the Work of any other Contractor working on/or adjacent to the site for this Work.

ARTICLE 10 - OWNER'S RIGHT TO TERMINATE CONTRACT

This contract may be terminated for the convenience of the Owner or for default as provided for by KRS 45A.200 and Article 24 of the General Conditions.

IN WITNESS WHEREOF this Agreement is executed in **Insert Number of Documents to be Executed** counterparts, each one of which shall be deemed an original and adequate proof of this Agreement, on the date and year first herein before written.

WITNESS:

CONTRACTOR:

BY: _____

BY: _____

Title: _____

Recommended:

WESTERN KENTUCKY UNIVERSITY

BY: _____

BY: _____

TITLE: _____

TITLE: _____

WESTERN KENTUCKY UNIVERSITY
SPECIAL CONDITIONS OF THE CONTRACT
FOR CONSTRUCTION BY A CONSTRUCTION MANAGER AT RISK

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ARTICLE 01 GENERAL INFORMATION

- 1.1 These Special Conditions are intended to modify, supplement, or delete from, applicable Articles of the General Conditions.
- 1.2 Where any Article of the General Conditions is supplemented by these Special Conditions, the Article shall remain in effect and the supplement shall be added thereto.
- 1.3 Where Special Conditions conflict with General Conditions, provisions of the Special Conditions take precedence.

ARTICLE 02 PERMITS AND FEES

All Permits and fees shall be secured and paid for by the Construction manager.

ARTICLE 03 (NOT USED)

ARTICLE 04 CONSULTANT

4.1 Wherever in these Contract Documents reference is made to the Consultant, it shall be understood to mean Gensler Architects or their duly authorized representatives. (See Article 2 of the General Conditions.)

ARTICLE 05 GEOTECHNICAL REPORT

5.1 No subsurface or geotechnical survey information is available at this time, but once available will be available to the CM

ARTICLE 06 TIME FOR COMPLETION

6.1 The time for Substantial Completion as further defined in Article 1 of the General Conditions shall be 946 consecutive calendar days from the date of commencement as specified in the Work Order letter, and Final Completion shall be 30 days thereafter.

ARTICLE 07 LIQUIDATED DAMAGES

- 7.1 Should the Construction Manager fail to achieve Substantial Completion of the Work under this Contract on or before the date stipulated for Substantial Completion (or such later date as may result from extensions in the Contract

Time granted by the Owner), he agrees that the Owner is entitled to, and shall pay the Owner as liquidated damages the sum of One Thousand, Five Hundred Dollars (\$1,500.00) for each consecutive calendar day that Substantial Completion has not been met. See Article 3 of the Agreement.

- 7.2 Should the Construction Manager fail to achieve Final Completion of the Work under this Contract on or before the date stipulated for Final Completion (or such later date as may result from extensions in the Contract Time granted by the Owner), he agrees that the Owner is entitled to, and shall pay the Owner as liquidated damages the sum of Two Thousand Dollars (\$2,000.00) for each consecutive calendar day until Final Completion is reached. See Article 3 of the Agreement.

ARTICLE 08 SUBMITTALS AND SHOP DRAWINGS

8.1 SUBMITTALS - GENERAL

- 8.1.1 The Construction Manager shall submit each set of Shop Drawings, product data, samples, and test and/or certification reports and samples as a separate item.
- 8.1.2 All sample selections for color shall be submitted for approval at the same time. Color selections shall not be submitted individually.
- 8.1.3 Any deviation from the Contract Documents shall be noted on the transmittal form comment section.
- 8.1.4 All submittals are to be reviewed by the Construction Manager for compliance with the Contract Documents before submission for approval. All submittals are to be initiated by the Construction Manager. Submittals made directly to the Consultant by sub-contractors, manufacturers or suppliers will not be accepted or reviewed.
- 8.1.5 Re-submittals shall conspicuously note all changes from earlier submissions. Special notation by the Construction Manager shall be made to any changes other than those made in response to the Consultant's review.
- 8.1.6 Manufacturers shall, when requested by the Consultant, submit test reports prepared by reputable firms or laboratories certifying as to performance, operation, construction, wearability, etc., to support claims made by the manufacturer of the equipment or materials proposed for inclusion in the Work. Construction Manager shall also submit a list of three (3) installations

where said equipment or materials have been in service for a minimum of five (5) years.

8.2 SUBMISSIONS -

8.2.1 Review of submittals is only for compliance with the design concept and the contract documents. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR CHECKING DEVIATIONS FROM CONTRACT DOCUMENT REQUIREMENTS OR CHANGES FROM EARLIER SUBMISSIONS NOT SPECIFICALLY NOTED.

8.2.2 The following shall be verified prior to making submittals:

Field Measurements, Field Construction Criteria, Catalog numbers and similar data, Quantities and Capacities, and Compliance with requirements, including verification of all dimensions,

8.2.3 Review Stamp designations shall be as follows:

NET = No Exceptions Taken": Proceed with the Work, no corrections needed. 8.2.3.2

"FC= Furnish as Corrected": Proceed with the Work, noting the corrections/conditions of the approval.

"RR = Revise and Resubmit": Do not proceed with the Work, as the submittal does not comply with the Contract Documents. Revisions to the submittal are required for approval. On projects utilizing UK E-Communication, "Send Back a Step" is used in lieu of "Revise and Resubmit"

"R = rejected": Do not proceed with the Work, the submittal is rejected.

8.3.1 In making a submittal, the Construction Manager shall be deemed to be making the following representations:

8.3.1.1 The Construction Manager understands and agrees that he shall bear full responsibility for the products furnished. The Construction Manager expressly warrants that products described in the attached submittal will be usable and that they conform to the Contract requirements unless specifically noted otherwise.

8.3.1.2 The Construction Manager understands and agrees that, without assuming design responsibility, he expressly warrants that products described in the attached submittal are capable of being used in accordance with the intent of the design documents and that they conform to the Contract requirements

unless specifically noted otherwise.

8.3.1.3 The Construction Manager acknowledges that the Owner will rely on the skill, judgment, and integrity of the Construction Manager as to conformance requirements and subsequent usability.

8.4 SHOP DRAWING AND PROCUREMENT SUBMITTAL LOG

8.4.1 The Construction Manager, within ten (10) days after the Pre-Construction meeting, shall begin uploading submittals, to generate a log fixing the dates for submission of Shop Drawings, special order material items, certifications, guarantees, and any other items required to be submitted to the Consultant for review, approval or acceptance.

8.4.2 The log shall track all submittals to date. The updated log shall then be reviewed and discussed at each progress meeting to determine items that may impact the construction schedule.

8.5 Shop Drawings

8.5.1 The Construction Manager shall review, approve, and submit Shop Drawings to the Consultant, in accordance with the Consultant's Shop Drawing & Procurement Submittal Log. By approving and submitting Shop Drawings, the Construction Manager represents that he has determined and verified all materials, field measurements, and field construction criteria related thereto, or will do so, and that he has checked and coordinated the information contained within such submittals with the requirements of the Work and of the Contract Documents.

8.5.2 The Construction Manager shall submit Shop Drawings required for the Work and the Consultant will review and take appropriate action. The review and approval shall be only for conformance with the design concept of the Project and for compliance with the information given in the Contract Documents. The approval of a separate item will not indicate approval of the assembly in which the item functions.

8.5.3 The Construction Manager shall make any corrections required by the Consultant for compliance to the Contract and shall return the required number of corrected copies of Shop Drawings and resubmit new samples until approved. The Construction Manager shall direct specific attention, in writing, or on resubmitted Shop Drawings, to revisions other than the corrections called for by the Consultant on previous submissions. The Construction Manager's stamp of approval on any shop drawing or sample

shall constitute a representation to Owner and Design Consultant that the Construction Manager has either determined and verified all quantities, dimensions, field construction criteria, materials, catalog numbers, and similar data, or he assumes full responsibility for doing so, and that he has reviewed or coordinated each shop drawing or sample with the requirements of the Work and the Contract Documents.

8.5.4 Where a shop drawing or sample submission is required by the specifications, no related Work shall be commenced until the submission has been approved by the Design Consultant. A copy of each approved shop drawing and each approved sample shall be kept in good order by the Construction Manager at the site and shall be available to the Consultant.

8.5.5 The Consultant's approval of Shop Drawings or samples shall not relieve the Construction Manager from his responsibility for any deviations from the requirements of the Contract Documents unless the Construction Manager has in writing called the Consultant's attention to such deviation at the time of submission and the Consultant has given written approval to the specific deviation. Any approval by the Consultant shall not relieve the Construction Manager from responsibility for errors or omissions in the Shop Drawings.

8.5.6 All submittals are to be submitted electronically by the contractor. Each individual Shop Drawing shall have its respective specification number and description highlighted.

8.5.7 Where Shop Drawings include fire alarm, communication systems schematics, sprinkler systems, etc., a sepia of each drawing shall be submitted to the Consultant as part of the "Record" set of drawings.

8.6 SUBMISSIONS - SAMPLES

8.6.1 Office samples shall be of sufficient size and quantity to clearly illustrate functional characteristics of the product with integrally related parts and attachment devices, and full range of color, texture, and pattern.

8.6.2 Products shall not be used until the sample has been submitted to and approved by the Consultant.

8.6.3 A minimum of two (2) samples are required to be submitted to the Consultant for review and approval and will be distributed as follows:

- a) One to be retained by the University;
- b) One to be returned to the Design Consultant;

- c) An additional sample or samples may be submitted, at the Construction Manager's option, for distribution to a third party.

8.6.4 Field samples (block, brick, etc.) of materials to be constructed at the site shall be submitted for review as required by the individual section of the Contract Documents.

8.7 SUBMISSIONS - OPERATION AND MAINTENANCE MANUALS

8.7.1 The University requires a minimum of one (1) bound copies and one (1) digital copy of the final installation, training, operation, maintenance, and repair manuals to be turned over to the Owner's Project Manager and approved for content by the Consultant by or before the time construction is 75% complete. Projects utilizing e-Communication will create digital copy from the Document Library (Closeouts) in e-Communication. The Closeout Log must contain individual line items for each physical copy submitted with corresponding PDF attachments. Operation and maintenance manuals and materials, where specified, for mechanical and electrical equipment and for operating items other than mechanical and electrical equipment must be submitted in PDF format with a separate PDF file for each item. In the event the Construction Manager fails to provide these required electronic submittals prior to reaching seventy-five (75%) completion, it is agreed that the Owner at its sole discretion may deduct from the current and subsequent Applications for Payment an amount deemed by the Owner to be sufficient to encourage prompt compliance with this contractual requirement, until such time as acceptable O&M manuals are received.

8.7.2 Manuals provided must be of sufficient detail to enable the Owner or others to install, calibrate, train, operate, maintain, service and repair every system, subsystem, and/or piece of equipment installed on or as part of this Contract. Manuals submitted through UK E-Communication® shall be scanned and submitted in color. Mark-ups must be made using visible color when printed. Each manual must contain:

8.7.2.1 Project Title, Project number, Location, dates of submittals, names, addresses and phone number for the Consultant, Construction Manager, and Construction Manager's Sub-contractors;

8.7.2.2 An Equipment Index that includes vendors' names, addresses, and telephone numbers for all equipment purchased on the Project;

- 8.7.2.3 Emergency instructions with phone numbers and names of contact persons on warranty items shall be uploaded to UK E-Communication®;
- 8.7.2.4 Copies of each system's air balancing record and each system's hydronic balancing record (1) physical copy and (1) digital copy.
- 8.7.2.5 Copy of As-Built temperature control system drawings and components and sequence of operation;
- 8.7.2.6 Any Computer, Micro controller, and/or Microprocessor equipped equipment installed shall be provided with source code copies of all software and firmware (prom, e- prom, rom, other) supplied on this Contract; and
- 8.7.2.7 Copies of all inspection and guarantee certificates, manufacturers' warranties with Western Kentucky University listed as the Owner for all equipment provided and/or installed.
- 8.7.2.8 If the binder includes manuals from any one vendor covering several different model numbers, the model used on the Project must be highlighted.
- 8.7.2.9 Included in the front of the "Operation and Maintenance Manual" shall be a copy of the Interior and Exterior Finish plan and Schedule listing all finish materials, the manufacturer, the finish color, and the manufacturer's paint number.
- 8.7.2.10 A copy of all digital photographs shall be submitted to the owner for their records.

8.8 SUBMISSIONS – AS - BUILT SET OF DRAWINGS

- 8.8.1 The Construction Manager shall submit one (1) electronic copy of As - Built set of drawings in PDF format indicating all deviations of construction as originally specified in the Contract Documents. These As-Built Drawings will compile information from the Construction Manager as well as all Sub-contractors.

The Construction Manager shall provide a qualified representative to update the As - Built set of drawings as construction progresses.

8.8.2 Approval of the Final Payment request will be contingent upon compliance with these provisions. The Construction Manager's As – Built set of drawings shall be delivered to the Consultant at their completion so that the Consultant may make any changes on the original contract drawings.

8.9 SUBMISSIONS - EQUIPMENT LIST

8.9.1 Complete equipment list is required by the owner. WKU may require this data to be in a format that is compatible with WKU DFM.

8.9.2 All materials that require preventative maintenance (PM) shall be listed. The equipment list is to be provided in Excel spreadsheet format.

8.9.3 Listing of maintenance parts and items: i.e. filters, lubricants, etc. for each work task shall also be listed.

8.10 SUBMISSIONS – MAINTENANCE MATERIALS

8.10.1 If specified, Maintenance/Replacement Materials, Spare Parts, and special maintenance tools for proper maintenance shall be provided by the CM at Risk.

ARTICLE 09 PLANS, DRAWINGS, AND SPECIFICATIONS

9.1 The successful Construction Manager can purchase any number of sets of plans and specifications from Lynn Imaging.

9.2 All drawings, specifications and copies, thereof, prepared by the Consultant, are the property of the Western Kentucky University. They are not to be used on other Work.

ARTICLE 10 PROGRESS MEETINGS

10.1 In addition to specific coordination and pre-installation meetings for each element of Work, and other regular Project meetings held for other purposes, progress meetings will be held as outlined at the Preconstruction Meeting. Each entity then involved in planning, coordination or performance of Work

shall be properly represented at each progress meeting. The following areas will be covered at each progress meeting: current status of work in place, CM's review of upcoming work (1 month look ahead), schedule status, upcoming outages, new outage requests, shop drawings due from contractors, shop drawings being reviewed, outstanding RFI's, outstanding proposed change orders, change orders, new business, As-Built updated, close-out documents status, defective work in place issues, review "pencil copy" of payment application, safety issues and new business or other issues not covered above.. With regard to schedule status, discuss whether each element of current work is ahead of schedule, on time, or behind schedule in relation with updated progress schedule; determine how behind-schedule Work will be expedited, and secure commitments from entities involved in doing so; discuss whether schedule revisions are required to ensure that current Work and subsequent Work will be completed within Contract Time; and review everything of significance which could affect the progress of the Work.

- 10.2 Construction Manager shall prepare and submit at each progress meeting an updated schedule indicating Work completed to date and any needed revisions.
- 10.3 With the express purpose of expediting construction and providing the opportunity for cooperation of affected parties, progress meetings will be held and attended by representatives of:
- (1) The Owner's Project Manager
 - (2) The Consultant.
 - (3) Construction Manager.
 - (4) Subcontractors as requested.
 - (5) Others requested to attend (as deemed necessary by CPMD).
 - (6) Physical Plant Division Representative.
- 10.4 A location near the site will be designated where such progress meetings will be held. Participants will be notified of the dates and times of the meetings by the Consultant.

ARTICLE 11 CRITICAL PATH METHOD (CPM) SCHEDULE

- 11.1 Construction Manager shall prepare Critical Path Method (CPM) type schedules in accordance with General Conditions Article 32 with separate divisions for each major portion of the Work or operation. The schedules

submitted for this Project shall be prepared using Primavera P6 scheduling software. If approved by the University, and at the sole discretion of the University, schedules submitted using earlier versions of Primavera scheduling software (Primavera SureTrak or Primavera P3) may be converted to Primavera P6 format by the University for review purposes. However, the University will not be responsible for any inaccuracies that may result from such conversions.

11.2

11.1.1 CPM schedules shall be based on generally accepted good practices for the development of construction schedules including limited use of long activity durations, long total float values or relationships based on leads or lags. Schedules shall include all activities necessary for performance of the work showing logic (sequences, dependencies, etc.) and duration of each activity. The schedules shall provide information for all elements of the Work in sufficient detail to accurately demonstrate the relative importance of each activity to the successful completion of the Project including but not necessarily limited to the following.

- a) Activities to be performed by the University or the Design Team.
- b) Activities describing time sensitive submittals and submittal processing.
- c) Activities describing fabrication and delivery of key materials or equipment.
- d) Activities to identify equipment start-up and testing, system commissioning, and Owner training.
- e) Activities to identify Owner Furnished /Contractor Installed and Owner Furnished / Owner Installed material or equipment.
- f) Activities to denote all required inspections by the Owner or Design Team, and inspections by state or local agencies including receipt of necessary Certificate(s) of Occupancy.
- g) Activities to identify all dates and durations for major utility outages requiring coordination with the Owner and the Owner's operations.
- h) Activities to identify all contractually mandated constraints. Non-contractual constraints shall not be included in the Initial or Final Baseline schedules without explanation. Non-contractual constraints are for the convenience of the Construction Manager, shall not be a basis for delay claims, and may be temporarily removed by the University when schedules and updates are reviewed.
- i) Software coding of each activity to identify the applicable Phase; area and/or sub area where the work occurs; the trade subcontractor or party responsible for completion of the activity; whether the activity is a design activity, a bidding or procurement activity, a submittal activity, or a construction activity; and whether the activity is potentially weather dependent.
- j) The University may, at its sole discretion, also require that each activity be coded to indicate the section of the Technical Specifications that applies to the work.

11.1.2 Schedules shall include divisions for Work to be accomplished remote from the central construction site, (for example, modular or prefabricated units to be constructed off-site, or utilities to the site from outside the construction site such as chilled water, steam, electrical, communications, and fire service). Such Work shall be scheduled so that disruption resulting from construction will be minimized. Start dates and completion dates for utility construction must be maintained and completed in the shortest reasonable time.

11.2 An Initial Baseline Schedules shall be submitted to the Consultant and to the Owner within thirty (30) calendar days after award of the first bid Package or trade contract, and shall include detailed information regarding Work to be performed during the first ninety (90) days of the Project as well as milestone dates based on hammock or Level of Effort type activities that identify all major elements of the remainder of the Work. Any necessary revisions to the Initial Baseline Schedule shall be completed prior to submittal of the Final Baseline Schedule.

11.3 The Final Critical Path Baseline Schedule shall be submitted to the Consultant and to the Owner within seventy five (75) calendar days after award of the first bid Package or trade contract, shall be consistent with the information contained in the Initial Baseline Schedule prepared in accordance with Article 11.2 above, shall be a complete and comprehensive description of the Construction Manager's plan to complete the Work in accordance with the Contract, shall include all activities necessary to complete the Work, and shall show the complete sequence of construction by activity, with dates for beginning and completion of each element of construction as well as an indication of whether the activity might reasonably be delayed or impacted by bad weather. Sub-schedules shall be provided as may be necessary to define critical portions of the entire schedule.

11.3.1 If the Project is to be constructed in multiple phases or using multiple Bid Packages, the date for the start of work on each phase of the Project shall be the date on which the University approves the award of the first Trade Contract for work in that phase or Bid Package.

11.3.2 A separate schedule including decision dates for selection of finishes and delivery dates for Owner furnished items, if any, shall be provided showing submittal dates for Shop Drawings, product data, and material samples, as appropriate.

- 11.3.3 A separate schedule shall be provided identifying dates and durations for major utility outages requiring coordination with the Owner and the Owner's operations.
- 11.3.4 Activities, including Outages, which require action by or which are the responsibility of, the Owner or the Consultant under the terms of the Contract shall be properly indicated, and the responsible party shall be identified in the CPM schedule.
- 11.4 The Consultant will review schedules only for compliance with the intent of the Contract Documents. Such review shall not relieve the Construction Manager of any responsibility for compliance with the provisions of the Contract nor shall such review or any review comments constitute an amendment or modification of the Contract requirements. The Construction Manager shall be solely responsible for the means and methods to be employed to assure construction proceeds in accordance with the submitted schedule and for identifying all necessary activities, establishing activity sequencing and assigning activity durations and relationships to assure that the CPM schedule is an accurate and comprehensive description of the plan for the Work.
- 11.5 Up-dated progress schedules shall be submitted to the Consultant and to the Owner concurrently with each Application for Payment to indicate progress on each remaining activity as of the last working day prior to the date of the submittal and the projected completion date of each activity. Updated CPM schedules shall show the accumulated percentage of completion of each activity, and total percentage of Work completed, as of the date of the update. Each submittal of an update to the schedule shall include a narrative report that identifies and explains activities modified since the previous submittal, major changes in scope and other identifiable changes, problem areas, anticipated delays and impact on the schedule, and shall describe corrective action taken or proposed, and its effect.
- 11.7 Copies of updated CPM schedules are to be provided to the job site file and, as appropriate, to subcontractors, suppliers, and other concerned entities, including separate contractors. Recipients are to be instructed to promptly report, in writing, any problems anticipated in meeting the projected dates shown in the schedules.
- 11.8 The processing of all progress payments is contingent upon the submission of an updated CPM schedule. Only payment for bonds and limited Construction Manager mobilization costs will be approved for processing

prior to receipt of the Initial and Final Baseline schedules

- 11.9 The processing of all change orders requesting a time extension to the contract is subject to the terms of Article 21 of the General Conditions to this Contract and is contingent upon the submission of a CPM schedule showing that the change order does indeed impact the contractually required completion dates for the Work. Time extensions for Change Orders that do not impact the contractually required completion dates for the Work will not be considered.
- 11.10 All time extensions shall be negotiated and made full, equitable and final, and incorporated in a revised CPM schedule at the time of Change Order issuance. No reservation of rights shall be allowed.
- 11.11 Float available in the schedule at any time shall not be considered for the exclusive use of either party to the contract, but will be a resource available to both the Owner and the Construction Manager. No time extensions will be granted for a delay unless the delay impacts the Project critical path as shown in the updated Project schedule most recently submitted to the Owner prior to the event, consumes all available float or contingency time, and extends the Work beyond the then current Contract completion date(s).

ARTICLE 12 WALK-THROUGH

- 12.1 After the "Work Order" is issued but before Work by the Construction Manager is started, a walk-through of the area is required to document the condition of the space, surfaces, or equipment. It is the responsibility of the Construction Manager to schedule the walk-through with the Owner's Project Manager, the Consultant, and other interested parties.
- 12.2 During the walk-through, Construction Manager shall identify all damaged surfaces or other defective items that exist prior to construction.
- 12.3 The walk-through shall be attended by Owner's Project Manager, a Representative of the user of the facility, the Construction Manager and the Consultant
- 12.4 Written documentation of the walk-through is to be provided by the Consultant with copies distributed to all parties. Polaroid type color photographs are to be provided and labeled by Construction Manager and one (1) copy of such photographs are to be given to Consultant. (Digital photos in a .jpg format are

acceptable if submitted on digital media storage) All parties attending the walk-through agree on the list of damages.

ARTICLE 13 OWNER'S CONSTRUCTION REPRESENTATIVE

- 13.1 The Owner may have full time personnel or representatives on this job. If so, the Construction Manager is to provide, at no additional cost to the Owner, an office for the duration of the Project specifically for the use of Owner personnel. The office should be furnished with all required utilities, including HVAC.

ARTICLE 14 FIELD OFFICE

- 14.1 Construction Manager shall make his own provision for field office for his own personnel and for incidental use by their Subcontractors. Quantity and location are subject to approval of the Consultant and the Owner's Project Manager.
- 14.2 Construction Manager is not required to provide a field office for use by the Owner or Consultant.

ARTICLE 15 TELEPHONE SERVICE

15.1 Construction Manager shall arrange through WKU IT or ATT for installation of on-site phone, internet and other communications services. Telephone service during the length of construction shall be paid for by the Construction Manager.

ARTICLE 16 CONSTRUCTION FENCE

- 16.1 Construction fencing will be designed and erected around job sites where there is a possibility of injury to employees, students or the public. Special precautions must be taken to protect the visually impaired, disabled, children and others using the University facilities. During active excavation/trenching operations, fencing shall be erected to prevent unauthorized entry into the site. All fencing shall comply with the current requirements of the International Building Code except where the following requirements are more stringent.
- 16.1.1 All job site perimeter fencing within 5 feet of a walkway, street, plot line, or public right-of-way shall be 8 feet in height. Perimeter fencing that blocks sidewalks must include signs directing pedestrians to a safe walkway or crosswalk. Signage may be attached to the fence, but may also be required to inform

pedestrians of sidewalk closures and detours prior to arriving at the closed area. Construction Manager shall provide electrical pedestrian and general lighting along the top rail of the perimeter of the construction site fence to provide a minimum illumination level of 1.5 foot candles. Pedestrian and perimeter fence lighting shall be installed in conduit, raceway, and/or pathway system properly supported to the perimeter fence. Open or flexible cabling will not be acceptable.

- 16.1.2 All job site perimeter fencing more than 5 feet from a walkway, street, plot line, or public right-of-way shall be a minimum of 6 feet in height unless International Building Code requirements are more restrictive due to the height of the structure and setback.
- 16.1.3 All fencing shall be of a woven material such as chain link or a solid type fence. Fencing shall include gates required for construction operations. Gates shall be lockable with both the Construction Manager's lock, and a lock provided by the Owner. Lock by Owner shall be keyed for the University key core. All locks to be "daisy-chained" to provide access to the Owner.
- 16.1.4 It shall be the Construction Manager's responsibility to determine the proper quality of materials and methods of installation of the fencing, with the understanding that it must be maintained in good condition, good appearance, rigid, plumb, and safe throughout the construction period. The fence does not have to be new material. The fence is to be erected on fence posts securely anchored in the ground. Provide a top bar or, with prior approval of the Owner, a wire shall be run through the top of the fence and attached to the end posts. A tension control device shall be installed as necessary. Use of sandbags, concrete weights, stakes, etc. to hold fence posts in place are not allowed. Penetrations in pavement or landscape walking surfaces may not be made without the approval of the Owner. Any damage caused by the fence installation shall be repaired in a manner satisfactory to the Owner. When fencing is to remain in place for 6 months or more a green fabric mesh must be provided for the full height and length of the fence. Fabric should be omitted for one section of fencing where blind corners occur or at pedestrian/vehicle intersections.
- 16.1.5 The Construction Manager shall be responsible for removing and replacing any fence sections and/or posts necessary for access to the site on a daily basis. The Construction Manager shall police such conditions to assure the fence and posts are reset in a timely manner and are specifically in place at the close of the working day.
- 16.1.6 If the Construction Manager fails to comply with the requirements of this Article

16, the Owner may proceed to have the work done and the Construction Manager shall be charged for the cost of the Work done by unilateral deductive change order.

16.1.7 Plastic construction fencing is not acceptable as a perimeter protection fence.

ARTICLE 17 PROJECT SIGN

- 17.1 The Construction Manager shall furnish, install and maintain a Project sign during this Project. This sign shall be 4' x 8' x 3/4" exterior grade plywood mounted on 4" x 4" posts. Design shall be as provided by the Owner at a later date and shall include the name of the Owner, Project, Consultant, and Construction Manager.
- 17.2 No signs, except those attached to vehicles or equipment, may be displayed without permission from the Consultant and the Owner's Project Manager. No political signs will be permitted.

ARTICLE 18 PARKING

- 18.1 Western Kentucky University will make available for purchase by the Construction Manager of up to four (4) parking permits. The category of parking permit and location of parking is determined by the Director, Parking and Transportation Services, or a designee. Parking permits may be purchased by the Construction Manager to be used by the Construction Manager and/or the Construction Manager's subcontractors and employees during the construction period. The cost of each permit is based on the pro-rata annual cost and may be purchased from WKU Parking and Transportation. Necessary documents required to purchase the passes will be available at the Pre-Construction Conference.
- 18.2 The Director, Parking and Transportation Services, or a designee will determine if parking is available for employees of the Construction Manager and subcontractors elsewhere on Campus. The Construction Manager will be given thirty (30) days' notice should conditions change that will affect parking at the designated parking area and it is necessary to relocate parking or terminate parking privileges. If parking is available, permits may be purchased from WKU Parking and Transportation.

ARTICLE 19 SANITARY FACILITIES

19.1 At the beginning of the Project, before any Work is started, the Construction Manager shall furnish, install and maintain ample sanitary facilities for the workforce. Permanent toilets in the existing building shall not be used during construction of the Project. Drinking water shall be provided from an approved safe source, piped or transported as to be kept clean and fresh and served from single service containers or satisfactory types of sanitary drinking stands or fountains. All such facilities and services shall be furnished in strict accordance with existing governing health regulations.

ARTICLE 20 RULES OF MEASUREMENT

- 20.1 Rules of Measurement shall be established by the Consultant in the field. Actual measurement shall be taken in the field. These amounts shall become binding upon the Construction Manager and be adjusted as before mentioned.
- 20.2 The Construction Manager shall pay for and coordinate through the Consultant and/or the Owner's Project Manager all associated Work by utility companies including relocation of utility poles, installation of new street lights, relocation of overhead or underground lines, and any other Work called for on the Plans and in the Specifications.

ARTICLE 21 ALLOWANCES

- 21.1 As stated in the General Conditions to the Contract, the Construction Manager shall have included in the Contract Amount all costs necessary to complete the Work. Costs based on "allowances" shall be permitted only for objectively quantifiable items and only with the prior written approval of the Owner. No allowances shall have been included in the calculation of the Construction Manager's fixed fee quotation in par. 8.0 of the RFP.
- 21.2 Costs based on allowances may be included in Subcontract bid packages only with the prior written approval of the Owner, and only for objectively quantifiable material items.
- 21.3 Any allowance amounts included in a Subcontract bid package, but not expended for the approved task during the course of the work of that Subcontract, shall be deducted from the Construction Manager's contract by Change Order. Any additional amounts necessary to pay for additional cost of an allowance in a Subcontract bid package shall be funded from the Construction Contingency Fund.

21.4 The Western Kentucky University has entered into a price contract agreement with SimplexGrinnell for procurement of fire alarm and security systems. SimplexGrinnell will provide an allowance for this project which may include Fire Alarm Equipment and Security Equipment, including all required cable/wire, labor to install cable and wire and terminations of SimplexGrinnell supplied devices and panels. SimplexGrinnell will be a sub-contractor under a trade contract.

21.4.1 The Construction Manager shall include an allowance of (to be determined) for the work by SimplexGrinnell in the appropriate trade contractor's scope of work.

21.4.2 The electrical contractor is to provide and install conduits and back boxes/junction boxes. All conduits will include a pull string. SimplexGrinnell will furnish and install all fire alarm and security equipment and wiring. An allowance amount will be provided by JCI, in coordination with the MEP sub-consultant based on the unit price contract between the University and JCI.

ARTICLE 22 CONSTRUCTION CONTINGENCY FUNDS

22.1 The Owner shall include an amount in the Project construction budget not to exceed one percent (1%) of the total cost of the construction, including the Construction Manager's fixed fee, as a Construction Contingency Fund. The following are general / typical categories of changes to the Work that may, with the Owner's prior written specific approval, be funded from this source:

22.1.1 Reasonable errors & omissions in the Construction Manager's bidding and scoping processes;

22.1.2 Reasonable costs associated with schedule recovery that is not a direct result of the construction managers or a trade contractor's failure to perform;

22.1.3. Any costs or expenses incurred by the Construction Manager, for provision of management services necessary to complete the Project in an expeditious and economical manner consistent with the Contract for Construction and the best interests of Owner, that were not included in the Construction Manager's General Conditions Cost as submitted in the original fee proposal

22.1.4 Amounts necessary to fund cost overruns in approved allowance items within Subcontract bid packages, as described in Article 21.3, above.

ARTICLE 23 SEQUENCE OF CONSTRUCTION

23.1 (Not Used)

23.2 All materials and equipment are to be brought into the project site from the approved staging location and are not to be brought through the existing buildings or loading docks. Any and **all** exceptions shall be approved by, and closely coordinated with, the Owner's Project Manager in advance of scheduling or performing the work.

23.2.1 The Construction Manager shall coordinate any road and sidewalk closings, utility disruptions, etc. which will affect the use of the existing building(s) with the Owner's Project Manager prior to commencing that Work.

23.3 The adjacent buildings and public areas will remain in use and the Owner shall have access to the existing building(s) throughout the duration of the Project. The Construction Manager shall coordinate construction activity to assure the safety of those who must cross the Project site and shall provide and maintain the necessary barriers and accommodations for a completely safe route of accessibility. The Construction Manager is to insure that all exits provide for free and unobstructed egress. If exits must be blocked, then prior arrangements must be made with the Owner's Project Manager.

23.4 The Construction Manager shall cooperate with the Owner in minimizing inconvenience to, or interference with normal use of existing buildings and grounds by staff, students, other Contractors, or the public. Construction Manager shall conduct operations to prevent damage to adjacent building structures and other facilities and in such a manner to protect the safety of building's occupants.

23.5 Special effort shall be made by the Construction Manager to prevent any employee from entering existing buildings for reasons except construction business. In particular, use of toilets, drinking fountains, vending machines, etc. is strictly prohibited.

ARTICLE 24 CRANE & MATERIAL HOIST OPERATIONS

24.1 Construction Manager shall provide appropriate barriers around crane and material hoist to protect pedestrian and vehicular traffic around operating area. When crane is operating or moving, flag men provided by Construction Manager shall be utilized to prevent pedestrian and vehicular traffic from crossing pathway of crane lift. Construction Manager's flag men shall coordinate these activities with the appropriate security

personnel.

- 24.2 Crane and material hoist shall be safely secured and inaccessible during non-operating hours. Construction Manager shall coordinate operation or erection of a crane or material hoist in the vicinity of the Medical Center with Medical Center Aeromedical Operations (Med-evac helicopter).
- 24.3 Any damage to trees, shrubs or plant material at the placement of crane or material hoist shall be repaired by tree surgery or replaced as directed by Consultant.

ARTICLE 25 UTILITIES

25.1 When the various building systems are energized and connected to Owner's utility systems, but prior to turnover to and occupancy by the Owner, the Construction Manager is responsible to reimburse the Owner for Owner furnished utilities. These utilities include but not limited to steam, chilled water, and electricity, provided by the Owner up to the date of Substantial Completion.

25.1.1 Water is supplied by WKU.

25.1.2 Construction Manager shall furnish gas meter and Columbia Gas Company directly for service until the until the Owner's beneficial occupancy date.

25.1.3 Construction Manager shall obtain from and pay UKIT Communications and Network Systems for the use of telephone services.

25.2 UTILITY OUTAGES

25.2.1 Interruption of Utilities and Services: No utilities or services may be interrupted without full consent and prior scheduling of the Owner. Owner approval is required in writing for each disruption.

25.2.1.1 ENTIRE BUILDING OUTAGE. The Owner's Project Manager is the Construction Manager's contact with the University for requesting Utility Outages. The Owner's Project Manager will contact the proper departments and divisions within the University and receive approval from those units prior to allowing a planned outage to occur. The established standard within the University Departments and Divisions of an entire building or group of buildings shall be three weeks written notice. The written notice shall include the type of utility

to be interrupted, reason for outage, length of outage, what will be affected by the outage, and a statement of whether or not the materials are on hand to complete the Work. If a specific time is desired for the outage it should be included. The Owner's Project Manager will insure that all parties affected are contacted and that a time which is least disruptive to all parties is selected. At the appointed outage time, Work shall begin and proceed continuously with all required manpower until Work is complete at no added cost to the University. The Owner's Project Manager will then notify all affected departments or divisions.

25.2.1.2 SECTION OF A BUILDING OUTAGE. The Owner's Project Manager is the Construction Manager's contact with the University for requesting Utility Outages. The Owner's Project Manager will contact the proper departments and divisions within the University and receive approval from those units prior to allowing a planned outage to occur. The established standard within the University Departments and Divisions of a section of a building shall be a written request one week prior to outage. The written request shall include the type of utility to be interrupted, when the outage is desired, reason for outage, length of outage, and what will be affected by the outage. The Owner's Project Manager will insure that all parties affected are contacted and that a time which is least disruptive to all parties is selected. At the appointed outage time Work shall begin and proceed continuously with all required manpower until Work is complete at no added cost to the University. The Owner's Project Manager will then notify all affected departments or divisions.

ARTICLE 26 CLEANING AND TRASH REMOVAL

- 26.1 The Construction Manager shall keep clean the entire area of new construction and shall keep streets used as access to and from the site free of mud and debris.
- 26.2 All exit ways, walks, drives, grass areas, and landscaping must be kept free from debris, materials, tools and vehicles at all times. Trim weeds and grass within the site area.
- 26.3 Upon completion of the Work, Construction Manager shall thoroughly clean and re-sod grass areas damaged to match existing areas.
- 26.4 All utility markings are to be made with water based marking paint with low Volatile Organic Compounds (VOC's) and high solids.

- 26.5 Upon Completion of the project, buried utility paint markings sprayed on walks and hardscapes are to be removed by non-destructive means such as pressure washing. Do not use chemicals. If a washed area is noticeable, the entire surface must be washed and or blended to match surrounding areas.
- 26.6 The Construction Manager shall be responsible for removal from the site of all liquid waste or other waste (i.e., hazardous, toxic, etc.) that requires special handling on a daily basis.
- 26.7 Dumpsters will be provided and maintained by the Construction Manager.
- 26.8 During Work at the Project site, the Construction Manager shall clean and protect Work in progress and adjoining Work on a continuing basis. Construction Manager shall apply suitable protective covering on newly installed Work where needed to prevent damage or deterioration until the time of Substantial Completion. Construction Manager shall clean and perform maintenance on newly installed Work as frequently as necessary through remainder of construction period.
- 26.9 The Construction Manager shall be responsible for daily cleaning of spillage's and debris resulting from his and his Subcontractor's operations, (includes removal of dust and debris from wall cavities), and for providing closed, tight fitting (dustproof if required), waste receptacles to transport construction debris from the work area to the dumpster. Broom clean all floors no less than once a week. The Construction Manager shall empty such receptacles into the trash container when full or when directed to be emptied by the Consultant and/or Owner's Project Manager, but not less than weekly. The use of the Owner's waste and trash receptacles is strictly prohibited, except as otherwise provided by the Project specifications.
- 26.10 Failure to comply with the above requirements shall be cause for stopping work until the condition is corrected.

ARTICLE 27 BLASTING

27.1 There shall be no blasting under any conditions on Western Kentucky University property unless specified in these Special Conditions.

ARTICLE 28 CUTTING AND PATCHING - NEW AND EXISTING WORK

- 28.1 New Work - Cutting and patching shall be done by craftsmen skilled and experienced in the trade or craft that installed or furnished the original Work. Repairs shall be equal in quality and appearance to similar adjacent Work and shall not be obviously apparent as a patch or repair. Work that cannot be satisfactorily repaired shall be removed and replaced.
- 28.2 Existing Construction - Refer to Architectural, Mechanical, and Electrical drawings for cutting and patching. All new Work shall be connected to the existing construction in a neat and workmanlike manner, presenting a minimum of contrast between old and new Work. Do all patching of the existing construction as may be required for the new construction to be completed. Necessary patching, closing of existing openings, repairing and touching up shall be included as required for a proper, neat and workmanlike finished appearance. Any existing item that is to remain and is damaged during construction shall be replaced at the Construction Manager's expense.

ARTICLE 29 UNRELATED PROJECTS

29.1 Unrelated construction projects may be under way in the vicinity of this Project or the site utility work during the course of the Work related to this Project. The Construction Manager for this Project must coordinate with any other contractors regarding overlapping areas. See Article 42 - Separate Contracts of the General Conditions.

ARTICLE 30 OWNER SUPPLIED MATERIALS

30.1 Owner, in an effort to expedite this Project, has pre-ordered certain long lead time items. This list will be developed as approved by the UK Project Manager and Design Team at the completion of the Construction Documents / Phase 3 of design. The following is the list of material that has been pre-ordered:

1. **NONE**

30.2 It will be the Construction Manager's responsibility to receive and off load the Pre-Ordered Material. If there is damage to the Pre-Ordered Material, then the Construction Manager is to notify the Owner's Project Manager immediately so that the Owner can seek replacement material.

ARTICLE 31 REMOVED ITEMS

31.1 The following is a list of items to be turned over to the Owner by the

Construction Manager after removal by the Construction Manager. If there are additional items listed in the drawings to be turned over to the Owner, but not listed here, it shall be construed as being listed here.

1. **NONE**

- 31.2 All items which are identified to be turned over to the Owner must be treated with the utmost of care and protected from damage during removal and transport.
- 31.3 Materials to be turned over to the Owner by the Construction Manager shall be delivered to a warehouse within a five (5) mile radius of the Project site.

ARTICLE 32 INTERIOR ENCLOSURE AND DUST ENCAPSULATION

- 32.1 Areas under construction or renovation shall be separated from occupied areas by suitable temporary enclosures furnished, erected and maintained by the Construction Manager. Temporary enclosures shall be dust and smoke tight and constructed of non-combustible materials to prohibit dirt and air borne dust from entering occupied spaces. Construction Manager to review with Consultant ways to provide ventilation for dust generated by demolition and fumes/vapors produced during installation of new materials.
- 32.2 Construction Manager is responsible for coordinating with the Owner's Project Manager any equipment to be turned off prior to erecting temporary enclosures.
- 32.3 Construction Manager shall protect all exhaust diffusers, equipment and electrical devices from the collection of dust. All areas shall be checked and cleaned prior to final acceptance of Work.
- 32.4 Dust and debris from Work operations shall be held to a minimum.
- 32.5 Construction Manager shall construct temporary dust partitions at locations and as detailed on drawings. Closures used for dust barricades shall be constructed of non-combustible materials, (metal studs and gypsum board or fire retardant plywood).
- 32.6 Construction Manager shall provide additional devices and materials as required to contain dust within Work area and protect personnel during course of Work.
- 32.7 Areas of minor renovation, consisting of the removal of doors and frames,

blocking of openings, and other limited Work shall be separated by a dust partition of fire retarded polyethylene on studs.

- 32.8 Existing corridor doors may serve as dust barriers, except if removed for refinishing. In such cases, temporary wood doors must be substituted until original doors are replaced.
- 32.9 The Construction Manager may assume existing walls which extend full height of floor shall be deemed appropriate to contain air borne dust. Cover any voids or penetrations.
- 32.10 Doors or windows in the perimeter walls surrounding the project work area shall be sealed off with protective materials in a manner to prohibit dust from escaping the work area. These shall be left in place until all work creating dust is completed. Protective materials shall consist of fire retardant wood, metal studs, gypsum board or flame resistant plastic.
- 32.11 Entry passage to Work area shall be sealed off with zippered plastic opening, or other acceptable means which allows periodic entry and closure of barricade closure.
- 32.12 Install and maintain a "sticky mat" on the floor in locations where construction crews leave the construction area and prior to entering ANY existing space in the building.
- 32.13 Install and maintain a temporary floor covering in any and all elevators being utilized for this project.

ARTICLE 33 WKU IT COMMUNICATIONS AND NETWORK SYSTEMS

33.1 The communications wiring is to be provided, installed and terminated by WKU IT. All pathways will be coordinated and approved by the WKU IT manager.

ARTICLE 34 EMERGENCY VEHICLE ACCESS

34.1 Emergency Vehicle Access must be maintained during construction. The Construction Manager shall coordinate with the local Fire and Emergency Medical Services department(s) that would respond to an emergency during the initial start up of construction to ensure a complete understanding of their requirements.

ARTICLE 35 SMOKE DETECTORS / FIRE ALARM SYSTEMS- EXISTING AND/OR NEW FACILITIES

35.1 Construction Manager shall protect all smoke detectors in Work areas to prevent false alarms. The Construction Manager will be responsible for any false alarm caused by dust created in their Work areas or dust traveling to areas beyond the Work, past inadequate protection barriers.

If there is a need for an existing or newly installed fire alarm system or parts of that system to be serviced, turned off, or disconnected, prior approval must be obtained from the Owner's Project Manager and notification given to the Campus Dispatch Office. The Construction Manager must follow the procedure outlined for Utility Outages and any documented costs charged by the responding fire department due to a false alarm shall be paid by the Construction Manager. As soon as all Work is completed notification must be given to the Owner's Project Manager and to the Campus Dispatch Office prior to reactivation of the system. Prior to Final Payment to the Construction Manager, all protected smoke detectors will be uncovered and tested.

35.2.1 When any fire alarm, detection or suppression system is impaired, a temporary system shall be provided. Construction Manager shall provide daily reports indicating the Superintendent has walked through the project at the end of each work period, to satisfy himself there are no present conditions that may result in an accidental fire. Portable fire extinguishers shall be on site during this time. The Construction Manager is responsible for inspecting and testing any temporary systems on a monthly basis.

ARTICLE 36 SURVEYS, RECORDS, and REPORTS

36.1 General: Working from lines and levels established by property survey, and as shown in relation to the Work, the Construction Manager will establish and maintain bench marks and other dependable markers to set lines and levels for Work at each area of construction and elsewhere on site as needed to properly locate each element of the entire Project. The Construction Manager shall calculate and measure from the bench marks and dependable markers required dimensions as shown (within recognized tolerances if not otherwise indicated), and shall not scale drawings to determine dimensions. Construction Manager shall advise Sub-contractors performing Work of marked lines and levels provided for their use in layout of Work.

36.2 Survey Procedures: The Construction Manager shall verify layout information

shown on drawings, as required for his own Work. As Work proceeds, surveyor shall check every major element for line, level, and plumb (as applicable), and maintain an accurate Surveyor's log or Record Book of such checks available for Construction Manager or Design Consultant's reference at reasonable times. Surveyor shall record deviations from required lines and levels, and advise Design Consultant or Construction Manager promptly upon detection of deviations exceeding indicated or recognized tolerances. The Construction Manager shall record deviations which are accepted (not corrected) on Record Drawings.

ARTICLE 37 SMOKING IS PROHIBITED

- 37.1 The use of all tobacco products is prohibited on all property that is owned, operated, leased, occupied, or controlled by the University. "Property" for purposes of this paragraph includes buildings and structures, grounds, parking structures, enclosed bridges and walkways, sidewalks, parking lots, and vehicles, as well as personal vehicles in these areas.
- 37.2 Construction Manager's employees violating this prohibition will be subject to dismissal from the Project.

ARTICLE 38 ALTERNATES

- 38.1 Alternate(s) will be accepted in the sequence of the Alternates listed on the Bid Form, and the lowest Bid Sum will be computed on the basis of the sum of the base Bid and any alternates accepted, within the budgeted amount.

38.2 Schedule of Alternates:

This list will be developed as approved by the WKU Project Manager and Design Team at the completion of the Construction Documents.

ARTICLE 39 FIELD CONSTRUCTED MOCK UPS

- 39.1 Exterior Finishes
- 39.1.1 After sample selection but prior to ordering exterior finish materials, Construction Manager shall accumulate enough material samples to erect sample wall panels to further verify selection made for color and textural characteristics, and to represent completed Work for qualities of appearance, materials and construction including sample masonry units (face and back-up

wythes, plus accessories), window units, roofing finish, etc. to provide a complete representation of the exterior facade for approval by the Consultant; build mock-ups to comply with the following requirements:

- 39.1.2 Build mock-ups well in advance of the time the finish materials will be needed for inclusion in the Work.
- 39.1.3 Locate mock-ups at location as reviewed and approved by the Architect and University's Project Manager, generally within 10 feet of existing building, parallel to existing face of building, and exposed to sunlight during daylight hours. Mock-Up to be reviewed twice, one in direct sunlight and one in shade to confirm color characteristics of samples.
- 39.1.4 Mock-ups Size(s) for the following types shall be approximately 6' long by 4' high by full thickness.

Each type of exposed Work.

- 39.1.5 Protect mock-ups from the elements with weather resistant membrane.
- 39.1.6 Retain mock-ups during construction as a standard for judging completed Work. When directed by the University's Project Manager or by the Consultant, demolish mock-ups and remove from the site.

39.2 Interior Finishes

- 39.2.1 After sample selection but prior to ordering interior finish materials, Construction Manager shall accumulate enough material samples to erect sample to further verify selection made for color and textural characteristics, and to represent completed Work for qualities of appearance, materials and construction; include samples of interior finishes, including paint, wood stain, vinyl wallcovering, flooring and ceiling materials to provide a complete representation for approval by the Consultant; build mock-ups to comply with the following requirements:
- 39.2.2 Build mock-ups well in advance of the time the finish materials will be needed for inclusion in the Work. Mock-ups may be on newly installed wall surfaces.
- 39.2.3 Locate mock-ups with adequate illumination for observation under intended light levels.
- 39.2.4 Retain mock-ups during construction as a standard for judging completed

Work. When directed by the University's Project Manager or by the Consultant, remove mock- ups from site or incorporate into the completed work.

ARTICLE 40-Not used

ARTICLE 41 HOT WORK PERMITS

41.1 All work involving open flames or producing heat and or sparks in occupied buildings on Western Kentucky University campus will require the Construction Manager to obtain approval to perform "Hot Work" on site. This includes, but is not limited to: Brazing, Cutting, Grinding, Soldering, Thawing Pipe, Torch Applied Roofing, and Cad welding. A copy of the Hot Work Permit and the Hot Work Permit Procedure will be passed out at the Preconstruction Conference for the Construction Manager's use.

ARTICLE 42 INSURANCE

42.1 Employers' Liability Insurance. The Construction Manager shall acquire and maintain Employers' Liability insurance with at least \$500,000/\$500,000/\$500,000 limits of liability for all employees who will be working at the Project site.

42.2.1 Commercial General Liability Insurance. If the work involved requires the use of helicopters, a separate aviation liability policy with limits of liability of \$100,000,000 will be required. If cranes and rigging are involved, a separate inland marine policy with liability limits of \$20,000,000 will be required.

42.2.1.1 The limits of liability shall not be less than \$10,000,000 each occurrence combined single limits for bodily injury and property damage.

42.2.2 Comprehensive Automobile Liability Insurance. Policy limits shall not be less than \$2,000,000 for combined single limits for bodily injury and property damage for each occurrence.

42.2.3 Excess or Umbrella Liability Insurance. This policy shall have a minimum of \$10,000,000 combined single limits for bodily injury and property damage for each occurrence in excess of the applicable limits in the primary policies.

42.2.4 Workers' Compensation- Statutory Requirements (Kentucky)

ARTICLE 43 KEY ACCESS

43.1 If Construction Cores are NOT utilized, then one set of keys for access to the renovation project area will be provided to the Construction Manager/Vendor's Project Manager/Superintendent by the University's Project Manager. The Construction Manager/Vendor's holder of the key(s) assumes responsibility for the safekeeping of the key(s) and its use.

43.3 All lost or stolen keys must be reported immediately to the University's Project Manager.

ARTICLE 44 CEILING CLEARANCE

44.1 Work above ceiling: All work above an area with lay-in ceiling must be coordinated and installed so there is a minimum of 4" between the top of the ceiling grid runners and bottom of the installation. Installation shall not obstruct equipment access space or equipment removal space. Also, conduit and pipe attached to the wall must be above the 4" minimum level.

44.2 Coordination Between Trades: Request and examine all drawings and specifications pertaining to the construction before installing above ceiling work. Cooperate with all other contractors in locating piping, ductwork, conduit, openings, chases, and equipment in order to avoid conflict with any other contractor's work. Give special attention to points where ducts or piping must cross other ducts and piping, and where ducts, piping and conduit must fur into the walls and columns. Make known to other trades intended positioning of materials and intended order of work. Determine intended position of work of other trades and intended order of installation.

ARTICLE 45 METAL ANCHORS

45.1 All anchoring devices utilized to secure materials to the building shall be metal. Plastic or plastic expansion components shall not be used. This shall include all fasteners for mechanical/electrical hangers.

PRELIMINARY PROJECT TIMELINE



o	3/28/2022	19 weeks	Feasibility and Concept Phase
o	8/8/2022	12 weeks	Schematic Design
o	7/21/2022	1 day	CM RFP Posted
o	8/10/2022	1 day	CM Pre-bid Conference
o	8/12/2022	1 day	CM Deadline for questions
o	8/18/2022	1 day	CM Responses due via Addendum
o	8/25/2022	1 day	CM Phase 1 responses due
o	9/1/2022	1day	CM short list
o	9/15/2022	1 day	CM Interviews
o	9/21/2022	1 weeks	CM Contract Negotiations
o	10/24/2022	2 weeks	Submittal design delivery (Budget)
o	10/31/2022	16 weeks	Design Development (Budget)
o	2/20/2023	16 weeks	Permitting and CDs
o	6/12/2023	6 weeks	Bidding and Award
o	7/24/2023	22 months	Construction Phase
o	5/24/2025	12 weeks	Close out Phase

SAMPLE ONLY

CONSTRUCTION PHASE ON SITE STAFF MATRIX

TOTAL PROJECT STAFFING LEVEL				
POSITION	NO.	MONTHS	% OF TIME	COMMENTS
Project Executive				
Project Manager				
Superintendent				
Engineer				
Assistant Superintendent				
Safety Engineer				
Administrative Assistant				
MEP Coordinator				
Other				
Other				

**PAYMENT BOND
COLLEGE OF BUSINESS
BID #: WKU-
WESTERN KENTUCKY UNIVERSITY**

KNOW ALL PERSONS BY THESE PRESENTS that Insert Contractor Name _____ hereinafter called PRINCIPAL, and Insert Surety Name _____ hereinafter called SURETY, are held and firmly bound unto Western Kentucky University, Bowling Green, Kentucky, hereinafter called OWNER, in the total aggregate penal sum of \$Insert Contract Amount _____ in lawful money of the United States, for the payment of which sum well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors, and assigns, jointly and severally, firmly by these presents.

THE CONDITION OF THIS OBLIGATION is such that whereas, the PRINCIPAL entered into a certain contract with the OWNER, dated the Insert Day _____ of Contract, Insert Month _____ of Contract, Insert Year _____ of Contract, a copy of which is hereto attached and made a part hereof for the construction of:

**COLLEGE OF BUSINESS
BID #: WKU-**

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the above bonded PRINCIPAL shall promptly pay all persons having just claims for (a) labor, materials, services, insurance, supplies, machinery, equipment, rentals, fuels, oils, implements, tools, appliances and any other items of whatever nature, furnished for, used or consumed in the prosecution of the work called for by said contract and any or all modifications thereof, whether lienable or nonlienable and whether or not permanently incorporated in said work, (b) pension, welfare, vacation and other supplemental employee benefit contributions payable under collective bargaining agreements with respect to persons employed upon said work and (c) federal, state and local taxes and contributions required by law to be withheld and paid with respect to the employment of persons upon said work, during the Contract and Warranty periods and other periods limited only by statutes of limitation, then this obligation shall be null and void, otherwise it shall remain in full force and effect.

PROVIDED, FURTHER, the PRINCIPAL and the SURETY agree that this bond shall insure to the benefit of all persons having just claims as aforesaid, whether or not they have any direct contractual relationship, with the PRINCIPAL, as well as to the benefit of the OWNER, and that such persons may maintain independent actions upon this bond in their own names.

PROVIDED, FURTHER, that the said SURETY for value received hereby stipulates that this BOND shall be deemed amended automatically and immediately, without formal and separate amendments hereto, upon amendment to the Contract so as to bind the PRINCIPAL and the SURETY to the full and faithful performance of the Contract as so amended and the amendments shall in no way affect the obligations on this BOND, and the SURETY hereby waives notice of any such change order, extension of time, alteration, addition, or modification of any character to the terms of this Contract or to the work or to the specifications.

PROVIDED, FURTHER, that no final settlement between the OWNER and the CONTRACTOR shall abridge the right of any beneficiary hereunder, whose claim may be unsatisfied.

**PAYMENT BOND
COLLEGE OF BUSINESS
BID #: WKU-
WESTERN KENTUCKY UNIVERSITY**

IN WITNESS WHEREOF this Agreement is executed in Insert Number of Documents to be Executed _____ counterparts, each one of which shall be deemed an original and adequate proof of this Agreement, on the date and year first herein before written.

WITNESS TO PRINCIPAL:

PRINCIPAL:

BY: _____

BY: _____

BY: _____

Title: _____

WITNESS TO SURETY:

SURETY:

BY: _____

BY: _____

BY: _____

Title: _____

**PERFORMANCE BOND
COLLEGE OF BUSINESS
BID #: WKU-
WESTERN KENTUCKY UNIVERSITY**

KNOW ALL PERSONS BY THESE PRESENTS that Insert Contractor Name _____ hereinafter called PRINCIPAL, and Insert Surety Name _____ hereinafter called SURETY, are held and firmly bound unto Western Kentucky University, Bowling Green, Kentucky, hereinafter called OWNER, in the total aggregate penal sum of \$Insert Contract Amount _____ in lawful money of the United States, for the payment of which sum well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors, and assigns, jointly and severally, firmly by these presents.

THE CONDITION OF THIS OBLIGATION is such that whereas, the PRINCIPAL entered into a certain contract with the OWNER, dated the Insert Day of Contract _____, of Insert Month of Contract _____, Insert Year of Contract _____, a copy of which is hereto attached and made a part hereof for the construction of:

**COLLEGE OF BUSINESS
BID #: WKU-10218
WESTERN KENTUCKY UNIVERSITY**

NOW, THEREFORE, if the PRINCIPAL shall well, truly and faithfully perform its duties, all the undertakings, covenants, terms, conditions, and agreements of said contract during the original term thereof, and any extensions thereof which may be granted by the OWNER, with or without notice to the SURETY and during the guaranty period and other periods limited only by statutes of limitation and if the PRINCIPAL shall satisfy all claims and demands incurred under such contract, and shall fully indemnify and save harmless the OWNER from all costs and damages which it may suffer by reason of failure to do so, including attorneys' and consultants' fees, and shall reimburse and repay the OWNER all outlay and expense which the OWNER without limitation, may incur in making good any default, then this obligation shall be void, otherwise to remain in full force and effect.

PROVIDED, FURTHER, that the said SURETY, for the value received hereby stipulates and agrees that no change, extension of time, alteration or addition to the terms of the contract or to work to be performed thereunder or the specifications accompanying same shall in any way affect its obligation on this bond, and it does hereby waive notice of any such change, extension of time, alteration or addition to the terms of the contract or to the work or to the specifications.

PROVIDED, FURTHER, that it is expressly agreed that the bond shall be deemed amended automatically and immediately without formal and separate amendments hereto, upon amendment to the Contract, so as to bind the PRINCIPAL and the SURETY to the full and faithful performance of the contract as so amended. The term "Amendment", wherever used in this bond, and whether referring to this bond, or the Contract shall include any alteration, addition, change order, extension of time, or modification of any character whatsoever.

PROVIDED, FURTHER, that no final settlement between the OWNER and the CONTRACTOR shall abridge the right on any beneficiary hereunder, whose claim may be unsatisfied.

**PERFORMANCE BOND
COLLEGE OF BUSINESS
BID #: WKU-
WESTERN KENTUCKY UNIVERSITY**

IN WITNESS WHEREOF this Agreement is executed in Insert Number of Documents to be Executed _____ counterparts, each one of which shall be deemed an original and adequate proof of this Agreement, on the date and year first herein before written.

WITNESS TO PRINCIPAL:

PRINCIPAL:

BY: _____

BY: _____

BY: _____

Title: _____

WITNESS TO SURETY:

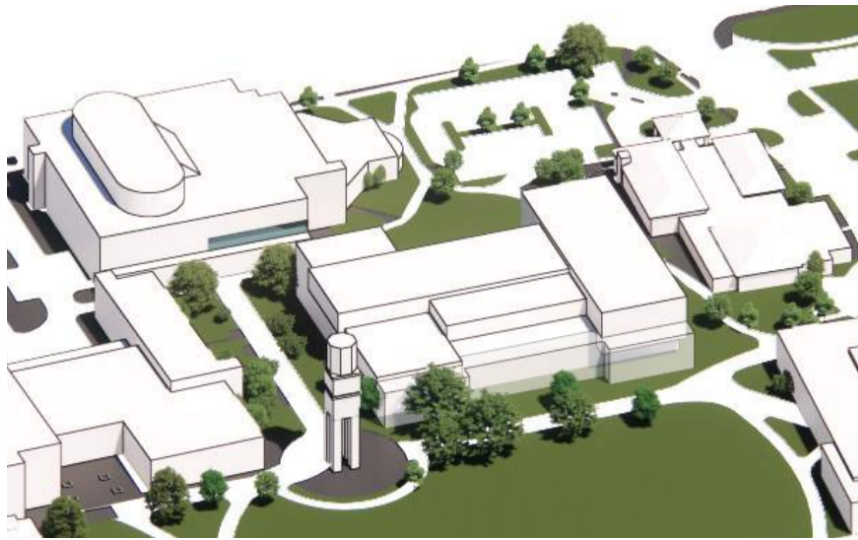
SURETY:

BY: _____

BY: _____

BY: _____

Title: _____



CONCEPT DESIGN

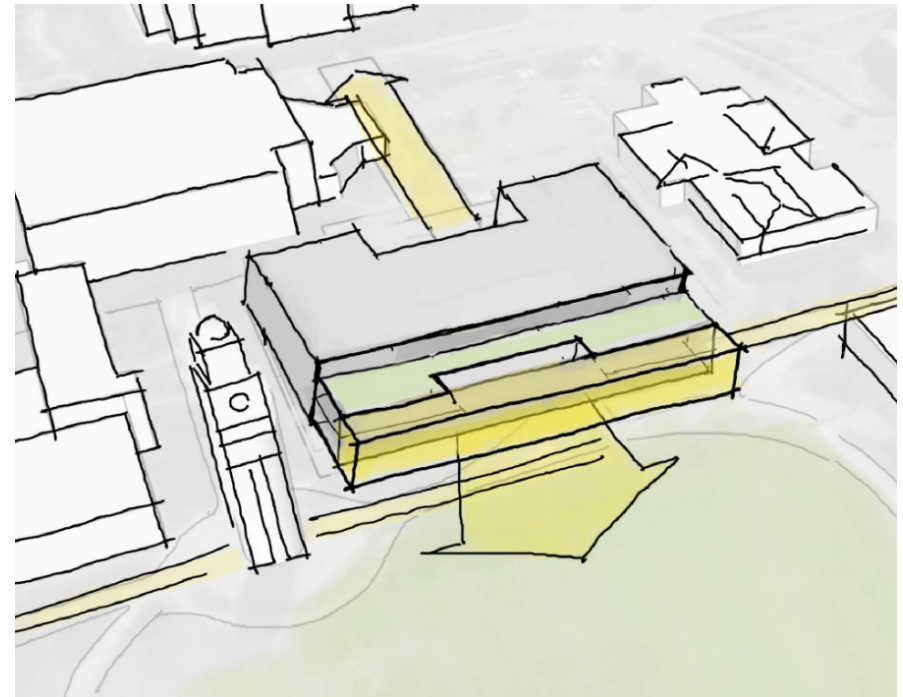
410 Regents Avenue
Bowling Green, KY 42101

WKU-10300

July 13, 2022

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EXECUTIVE SUMMARY

Introduction

Gensler and their team of consultants have been engaged by Western Kentucky University to design the new College of Business on the site of the former Tate Page Hall.

The new College of Business will be comprised of a three-story building above grade, with screened-in rooftop mechanical equipment. Key program will include a 300-seat auditorium, pre-function space, coffee shop, outdoor terrace, classrooms, offices, and professional collaboration areas.

An alternate, four-story design scheme, named “Open Arms” is also included as part of the drawing package. The proposed alternate would provide roughly the same gross square footage but on a smaller site footprint with the addition of the 4th floor.

Gensler, and their consultants, will provide professional services of programming, concept design through construction administration and project closeout. The project is intended to be completed to 100% construction documents for generating the GMP and for sub-trade buy-out.

The project will utilize the typical WKU State Owner-Architect Agreement. The current contract has been executed for the completion of the building with a construction budget of \$52,080,000, plus AV, IT, and FF&E. The project shall be completed and open for Fall 2025.

The project shall seek LEED Silver.

Background

The Gordon Ford College of Business is currently housed in Grise Hall. This 133,067 gross square foot building was built in 1966 and consists of offices primarily on the west wing, classrooms on the east wing, and a large auditorium and common space in the core of the building. The building is shared with other campus programs, and the College of Business utilizes roughly 57,000 net square feet to serve its ~2,150 students today. The building is dated, and the building systems are deteriorating.

A new College of Business building was originally identified as part of the 2010 Master Plan, and the 2021 Campus Master Plan proposed that the new College of Business be located on the former Tate Page Hall site, overlooking the South Lawn. The new College of Business will accommodate student growth of up to ~3,000 students.

Project Objectives / Goals

In response to the College’s goal to define a future oriented building for the Gordon Ford College of Business that supports the Strategic Vision and elevates student, faculty, and staff experience, Gensler defined a short list of Design Principles to guide the design and construction of the project:

Open Arms – a visible front door, visual transparency of space and activated circulation that welcomes people in and provides awareness throughout.

Building Resilience – to allow the building to evolve to meet an ever-changing future.

Borderless – the creation of spaces that feel inclusive and break down silos to bring faculty, staff, and students together.

Program of Requirements

The College of Business is comprised of several academic departments: Accounting, Analytics and Information Systems, Economics, Finance, Management, Marketing and MBA programs. Currently, the MBA programs operate 100% online.

Gensler, in the Programming & Vision phase of the project, benchmarked the existing Grise Hall building program against peer institutions with similar student populations and reviewed existing class scheduling information. Current class scheduling results in peak classroom demand of 24 classrooms for a Tuesday/Thursday period from 9:35am – 10:55am, followed by a Tuesday/Thursday period from 11:10am – 12:30pm across 21 classrooms, a Tuesday/Thursday period from 12:45pm – 2:05pm across 20 classrooms, and a Monday/Wednesday/Friday period from 10:20am – 11:15am across 20 classrooms. Due to the high number of classrooms available today and the lack of scheduled afternoon classes in particular, a large portion of Grise Hall's classrooms sit empty today, as students leave the building when classes are finished.

Gensler modeled an initial building program to provide 24 classroom spaces and, based on their understanding of available class periods, a reduced building program to provide 16 classroom spaces. A subdivisible auditorium and teaching lab space(s) exist in addition to these classroom counts, offering three additional teaching spaces. The resultant delta between model programs was 14,325 gross square feet of space, and WKU directed Gensler to proceed with the reduced, alternate program for Concept Design.

Though the number of classrooms is greatly reduced, the proposed program offers 75% of the amount of classroom space that exists in Grise Hall today, in the form of larger and more flexible classrooms.

Recognizing that the College of Business intends to grow enrollment from ~2,150 students today to ~3,000 students in the future, the program also accounts for growth in the form of larger classrooms that facilitate increased class sizes, the understanding that class scheduling will be further optimized in the future, and additional faculty office space that may be used as collaboration spaces until required.

Other program elements include the Centers and Student Services. The Center for Financial Success serves university students and the region by offering peer-to-peer coaching and applied financial planning education. Student Services includes academic advising, professional development support, and the Clothes Closet; a place for students to procure professional wear for interviews.

Refer to the Program Summary for more information.

Schedule

The project kicked off on April 4th, 2022 for the Visioning & Programming Phase, followed by the Site Evaluation and Concept Design Phase.

The completed site survey was provided on July 12th. The Design Team will begin the Site Analysis & Feasibility phase immediately, and work to complete the submittal to inform the Schematic Design process.

Schematic Design is intended to begin August 8th, 2022, provided that a full geotechnical report can be provided. Per the following schedule, the project will be issued for permit at the end of the Design Development phase and issued for bid in June 2023. A 22-month construction schedule is anticipated at this time, resulting in substantial completion in May, 2025.

Design Overview

The building is sited to provide generous green space and vistas through campus on all sides, using the footprint of the previous Tate Page Hall as a guide at specific locations.

Starting with the Guiding Principles of Open Arms, Building Resilience and Borderless, the building is laid out to welcome students, faculty, staff, and visitors into the building. Key program components are showcased on the first floor, including the Trading Lab, Centers to engage with industry and local business, and Student Services to ensure student success.

A pair of flat floor classrooms can be opened up to one another, through the use of a Modernfold wall, and to the main lobby, through the use of overhead garage-style glass doors, as a pre-function space for banquet style special events. Elevators will be easily accessed yet not a focal point of the design, as the primary view through the building will draw visitors from the main vehicular drop-off point through the building and out to the South Lawn.

The Coffee Bar anchors the open monolithic stair up to the second floor, with spill out seating on a new plaza overlooking the South Lawn.

The building will not include a basement, therefore all equipment described in the MEP/FP narratives will be housed in the first-floor mechanical space shown in the drawings, with the exception of roof top units. Roof top equipment shall be screened from view.

The second floor features the 300-seat auditorium. Provided with a 1:20 sloped floor, the space is fully accessible, providing for flexibility and collaboration with an overhead Skyfold wall and fixed

paired tiers of chairs and tables, to facilitate turn-and-learn style collaboration in addition to traditional lecture mode.

Academic department offices, shared faculty and staff support, classrooms and collaboration rooms round out the second-floor program.

In addition to the three enclosed building stairs, a second, open monolithic, stair connects Faculty and Staff support on second floor and third floor, encouraging students to pass through the space to mingle with faculty.

The third-floor houses with Dean's Suite and MBA academic department, additional faculty departments, faculty and staff support, and a variety of classrooms. Smaller classrooms overlooking the terrace will be utilized for smaller class groups, including honors and seniors, and meetings with local business and industry leaders.

PROJECT DIRECTORY & CONTACT LIST

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Owner's Representative

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DESIGN NARRATIVE

SITE DESIGN NARRATIVE

General Site Scope & Statistics

The probable area of disturbance for the new Gordon Ford College of Business is approximately 1.8 acres and is bound by several existing structures. Namely- Jody Richards Hall to the East; Health Services (Graves-Gilbert Clinic) and associated parking to the South; Guthrie Tower and Academic Complex to the North and Northeast. To the West stands Raymond B. Preston Health Center and Northwest opens to the South Lawn and adjacent walkways. The current site is the location of the old Tate-Page Hall which was razed and backfilled in 2020.

Current utilities of significance that may impede the overall building footprint without major utility relocation costs would potentially include steam lines and/or communication/data duct banks. This will be further explored in the next phase as we receive more detailed site survey information. The site is mostly an open lawn over unknown fill material that was placed to fill the Tate-Page Hall basement. Current concrete sidewalks that are in place surrounding the old Tate-Page building are being used for pedestrian flow but may easily be removed and redesigned for the new building footprint. Other vegetation is limited to a few trees which include a 30" Hackberry and several existing crabapple trees, juniper and holly shrubs, and various ornamental grasses and groundcovers around the property limits.

Geologic Nature

Yet to be evaluated with the upcoming geotechnical review and forthcoming report.

Potential for excavation of previous fill material with proper engineered fill for the new structure. See Structural Narrative for additional information.

Existing Vehicular, Pedestrian, Service, and Emergency Access Routes

Current vehicular circulation will be maintained except for a temporary shutdown of the Health Services Clinic Parking Lot for road improvements. (Assuming the current parking lot is redeveloped). A perimeter construction fence will be placed within the approximate building limits and maintain pedestrian access along Centennial Mall from Guthrie Tower to Preston Health Center and Guthrie Tower to Jody Richards Hall along the Academic Complex walk/seating areas. Periodic construction fence relocation may be required due to utility improvements. All pedestrian and vehicular routes that will be temporarily closed will need to be approved by WKU before completion. All service and emergency access will be maintained throughout the construction period with also the exception of temporary service installation and approval by WKU.

Proposed Vehicular and Service Routes

The primary vehicular access to the College of Business will be from the South between Health Services and Jody Richards Hall. The intent is to maintain the existing parking while reusing certain areas to access the new facility for a safe and efficient drop-off experience. Just as important will be the access to ADA parking and service areas. The final design will screen certain aspects of the service areas but make traffic flow easy to travel and safe from pedestrian interaction. Also, to provide full access to load supplies and manage and off-load recycling and trash. Service will also require access by a variety of truck sizes that will have to navigate through the existing clinic parking lot.

Proposed Pedestrian Routes

Pedestrian access will be a primary design consideration. Both the drop-off/parking areas and the South Lawn entrances will be seen as a back/front door experience. The South Lawn frontage has an open-air feel with vistas that extend across the open lawn and mature landscape across Avenue of Champions to L.T. Smith Stadium. This area has an open, inviting feel that is seen as a front door/ front porch appeal. The potential for this is to have relaxing seating adjacent to the Centennial Mall corridor. The South Lawn entrance will be enhanced through special pavements and/or pavement patterns, highlighted with new landscape and amenities such as benches and planters, and potential of overhead structures. Design items that will need to be considered will include the current surrounding materials but introduce new pavement designs that will complement the new facility all the while not diminishing the current pavement materials.

The South access area which is adjacent to the Health Services Parking Area provides an excellent access point for those parking or walking to the facility from other parking lots such as Chestnut Street Lot or Mimosa Visitor Lot and adjacent facilities such as Gary Ransdell Hall. Additionally, there may well be opportunities for small outdoor, semi-private, study areas adjacent to the indoor café location. This area could sit nicely between the new facility and Jody Richards Hall.

The two different areas facing Heath Services and Academic Complex create a more enclosed space with walkways already in place. Some modifications will be required to add additional access points to the College of Business while allowing ease of access to adjacent facilities. The added landscape will be critical in these areas to soften the building edges and promote a natural feel in an area of steep building faces.

Emergency Routes

Emergency access will be a priority. Most if not all perimeter walks will be designed to meet EMS and Fire Truck routes. All plans will be reviewed by WKU Fire Marshall before the final design.

Parking

All parking shall meet current WKU design standards for dimensions, materials, and lighting, this includes all ADA standards and access to building and site amenities. It is our goal to maximize parking where appropriate. There may be some instances of parking spaces being relocated on-site due to access drives and pedestrian safety concerns.

Power for electrical vehicle charging shall be provided at a minimum of one (1) space.

Bike Parking

Additional bike parking will be provided adjacent to COB and Health Clinic Facility. The final number of spaces is to be determined. Access to parking will be part of the newly designed multi-use pathways. Most bike access will be coming from the South and surrounding residential areas, both on and off campus.

Site Amenities

Site amenities will include a wide variety of specialty items that enhance the overall student, faculty, and visitor experience. These elements are outlined in the Design Standards and will include:

- Pedestrian Scale Outdoor Lighting
- Benches and Trash / Recycling Receptacles
- Bike / Walkway connections with Bike Racks
- Potential Outdoor Dining Tables and Chairs

- Potential Shade Structures
- Potential for Exterior Wireless Internet

Site amenities will include campus-appropriate and Campus Standard selections constructed of durable materials of concrete and metal. These elements will attempt to relate to the architecture and surrounding landscape.

Materials

The following is a list of material types and selections for various outdoor features.

- Asphalt Pavements – will meet KYTC Standards. Some areas may have the potential for an albedo effect.
- Walkway and Plaza Materials - will include poured concrete, concrete or masonry pavers, natural brick, and potential for natural stone.
- Handrails and Guardrails – if required will include stainless steel railing systems.
- Fences and Gates – will include estate-style painted steel fence and guard systems from approved manufacturers, custom-designed welded and painted steel panels, wrought iron, or aluminum fence guards and post panels.
- Benches, Trash Receptacles, Tables, and Chairs – will include pre-manufactured painted metal designs from approved sources to be consistent with reviewed and approved by WKU.

Landscaping

The planting of trees, shrubs, evergreens, and other accent plantings throughout the project will be in step with current plant material and the surrounding environment. Landscape plantings will be native material and focus on simple masses with high visual impact but low maintenance requirements including native grasses in massing with flowering and evergreen species intermingled for seasonal interest.

END OF SITE DESIGN NARRATIVE

CIVIL ENGINEERING NARRATIVE

Hydrological Nature

Site drainage currently drains toward existing inlet structures. The future design will maintain the current surrounding inlets and potentially add to the current system. The rate of discharge (T.O.C.) will not be affected as the pervious vs. impervious relationship would be mostly unchanged. If current conditions do facilitate drainage issues, various measures, such as permeable pavers, open vegetated drainage ditches, and miniature wetland / vernal ponds are a possibility. The proposed building footprint may require the relocation of storm lines at the building corners.

Site Utilities

A determination on any potential upsizing of service lines is pending based on the finalization of usages by the proposed building. A drawing showing building utility connection points has not yet been provided. It has been assumed at this point that utility connection points will remain in the same vicinity as those for the existing building.

- Water- Tate-Page Hall had a water supply line connection of unknown size. The proposed building could potentially interfere with the existing service lines. Adjustment or replacement of the service lines may be required.
- Sanitary Sewer- The exact location of the Tate-Page Hall sanitary lateral is still in question, pending review of final survey and Tate Page Hall demolition drawings. Adjustment or replacement of the lateral will be required. The existing backflow valve will need to be relocated or replaced.
- Gas requirements for the College of Business have yet to be determined. The nearest location is a line of unknown size between Preston Health Center and Health Services Clinic.
- Steam- N/A

END OF CIVIL ENGINEERING NARRATIVE

STRUCTURAL NARRATIVE**A. Code and Specifications:**

Kentucky Building Code, 2018.
 ASCE 7-10, Minimum Design Loads for Buildings and Other Structures
 ACI 318-14 Building Code Requirements for Structural Concrete.
 ACI 301-16 Specifications for Structural Concrete.
 AISC 303-16, Code of Standard Practice for Steel Buildings and Bridges
 as modified by the construction documents.
 AISC 360-16 Specifications for Structural Steel Buildings.
 ANSI/AWS d1.1, Structural Welding Code – Steel.

B. Structural Design Criteria:Live Load:

Typical floor areas: 100 PSF, reduced by code on girders, columns, and foundations but not less than 60 PSF.
 Mechanical/electrical equipment rooms: 150 PSF, increased where required for heavier equipment.
 Slabs on grade and stairs: 100 PSF, unreduced.
 Roof: 25 psf uniform, 300# concentrated, increased for drifting snow where applicable.

Superimposed Dead Load:

Ceiling and Mechanical: 10psf typical, 25psf above mechanical rooms.
 Roofing allowance: 15 psf

Seismic load

Risk Category: III
 Soil Site Class: assumed C (to be confirmed with geotechnical report)
 Seismic Design Category: assumed C (based on soil site class C; to be confirmed with geotechnical report)

Wind load:

Basic wind speed: 120 mph ultimate (93 MPH ASD/Service Loading)
 Wind exposure: B

Risk Category: III

Floor Vibrations: Elevated floors designed to accommodate standard walking excitations.

C. Foundation System:

Foundation: system and bearing capacity to be determined by geotechnical recommendations. Drilled piers are assumed due to previous demolition infill condition.

Slab on grade: 5" thick slab reinforced with 42# mesh on vapor barrier and 4" minimum granular sub-base. Design to be confirmed with geotechnical recommendation.

Grade beams: assuming they are at the building perimeter.

Foundations will extend below the frost depth of 30" (to be confirmed with geotechnical recommendation) at the building perimeter and at exterior foundation locations (such as canopy foundations).

Elevator pit: concrete slabs and walls supported on drilled pier.

D. Structural framing system:

Roof: to be determined.
 Assuming 1 ½" 20 GA minimum roof metal deck on steel beams, maximum span 6'-6", typical.
 Steel beams and bar joists.

Floor: to be determined.
 Assuming 4 ½" normal weight on 2" 20GA minimum composite metal deck. (total thickness = 6 ½").

Composite steel beam with shear studs and camber.
Auditorium floor assumed to be sloped or stepped.
Tiered classroom assumed to be overbuild over level floor. Overbuild assumed to be CFMF wall and floor with cementitious board.

Façade support:
Perimeter façade support framing is anticipated to be a combination of ledge angles, hangers, kickers, horizontal tube girts, etc.

RTU on new roof: RTU is expected to be supported by curbs sitting on roof structure. Screen wall that consists of hot dip galvanized steel is expected at 4 sides of the RTU.

Monumental stair: structural steel.

Lateral system: Vertical braces or moment frames. Steel system not specifically detailed for seismic resistance.

E. Material:

Cast-in-Place Concrete
Concrete Mixes:
Foundations: 3,000 PSI.
Interior slab on grade: 4,000 PSI
Concrete slabs on metal deck: 4000 PSI light weight(117 pcf)
Exterior or exposed concrete: 4,500 PSI, air-entrained.
Slair pan fills: 3000 PSI with 3/8" maximum course aggregate.
Backfill concrete: 1500 PSI.
Reinforcing Steel: ASTM A 615 60 KSI
Weld Wire Fabric: ASTM A 185.

Finishes:
Exposed formed surfaces: As cast smooth form finish using HDO formwork.
Non-exposed formed surface: As-cast formed finish.

Interior slabs: Smooth steel troweled finish.

Structural Steel:
Wide flange shapes: ASTM A-992 (FY 50 KSI).
Other rolled shapes & plates: ASTM A-36 (FY 36 KSI).
Structural tubing, HSS shapes: ASTM A-500, grade B (FY 46 KSI).
Steel pipes: ASTM A-53, grade B (FY 35 KSI).
Field bolts: ASTM A-325, 3/4" min. dia., U.N.O.

Composite Floor Deck: 2" deep, 20 gage, G60 galvanized, composite metal floor deck.
Roof deck: 1-1/2", 20 gage minimum, wide rib metal roof deck, G-60 galvanized.

Steel Finish:
Structural steel with fireproofing will be uncoated.
Interior structural steel not fireproofed will receive one coat of rust inhibitive primer.
Exterior structural steel, including equipment frames, lintels, brick ledges, etc. will be hot-dipped galvanized

F. Testing and Inspection:

General:
Material testing and inspection of the structural components of the Project will be required. The extent of the material testing, inspection, and documentation will satisfy the requirements of the Kentucky Building Code, Chapter 17 – Structural Tests and Inspections.

Testing and inspection criteria are outlined below. Detailed testing and inspection criteria will be defined in structural specifications.

Foundations and Soil Work:
Foundation bearings: All foundation bearing surfaces will be inspected by the Owner's Geotechnical Testing Agency before concrete is placed.

Placement of engineered fill: Owner's Geotechnical Testing Agency will perform inspections and tests all fill operations including, but not limited to: review site preparations, review fill materials and the thickness of each lift, and test in place the dry densities of the compacted fill.

Pavement subgrades and sub-base: Review and approve materials, witness and approve proof rolling, and test compaction and moisture contents of materials.

Cast-in-Place Concrete:
Material testing as defined in ACI 301 – Article 1.6 and the Cast-in-Place Concrete technical specification.

Special inspections:

1. Reinforcing steel installation includes, but is not limited to: bar sizes, bar spacing, quantities, bar splices, embedment, support, securement, and concrete covers.
2. Concrete operations include the use of proper concrete mix, consolidation, finish, and curing operations.
3. Formwork: Removal and reshoring operations, and formwork material.

Structural Steel:

All welding and high strength bolting.
Material verification.

Metal Floor and Roof Deck:

Deck installation including bearing conditions, laps, direction of span, material thickness and coatings, connections, and side lap connections.

G. PROVISIONS FOR FUTURE EXPANSION:

1. No provisions have been made to accommodate any future expansions.

END OF STRUCTURAL NARRATIVE

ARCHITECTURAL NARRATIVE

All work shall be completed in accordance with all applicable Building Codes and State of Kentucky amendments, refer Preliminary Code Analysis for a list of relevant codes. The project shall meet applicable energy codes and certified as LEED Silver. Material and material systems shall be installed per current trade best practices, tolerances, and product recommendations.

Division 01 – General Requirements

Alternates

1 Architecture:

Basis of Design – Scheme 1 “The Heart” 3-story scheme
Alternate Design – Scheme 2 “Open Arms” 4-story scheme

2 Mechanical:

Basis of Design is traditional system with chillers and boilers on ground floor,
Alternate Design is an air source heat pump system.

Division 02 - Existing Conditions

Refer Site Design Narrative

Division 03 – Concrete

Refer Structural Narrative

Division 04 –Masonry

Masonry veneer façade, brick or limestone, on stud wall, with expressed limestone detailing at lintels, door and window sills.

Division 05 – Metals

Structural Steel Framing

Refer Structural Narrative

New interior non-loadbearing wall steel framing, ceiling joist framing and soffit framing.

Metal Fabrications:

- Stainless steel handrails
- Painted steel guardrails

Division 06 – Wood, Plastics & Composites

Rough Framing

Fire treated lumber unless otherwise noted.

Plastic Wood Laminate Faced Architectural Cabinets

Premium grade, frameless, flush overlay style and open shelf cabinets.

Shelving shall be $\frac{3}{4}$ " thick, no particleboard. Solid edging.

Hardware shall include fully-concealed butt hinges, wire pulls, adjustable shelf supports in satin stainless steel finish. ADA compatible hardware required.

Premium grade built-in benches to match.

LEED certified or equivalent formaldehyde free sheet material.

Coffee shop condiment station and two (2) community style tables.

Provide millwork allowance for two (2) built-in trash & recycling stations per floor

Provide millwork allowance for (1) student print station.

Wood Trim

Painted wood base, straight, 4", at terrazzo- or concrete flooring.

Division 07 – Thermal & Moisture Protection

Climate Zone 4A per IECC 2012

Roof insulation (entirely above deck) shall have a minimum U-value of U-0.039.

Walls shall have a minimum U-value of U-0.104.

Fixed fenestration shall have a minimum U-factor of 0.38 and entrance doors shall have a minimum U-factor of 0.77.

Skylights shall have a minimum U-factor of 0.5.

Weather Barriers

A continuous air barrier shall be provided throughout the building thermal envelope. Penetrations of the air barrier and paths of air leakage shall be caulked, gasketed or otherwise sealed.

Doors and access openings from conditioned space to shafts, chutes, stairways and elevator lobbies shall be gasketed, weather-stripped or sealed.

Roof Accessories

Roof Curbs

Equipment supports

Where columns are required to have protection to achieve a fire-resistance rating, the entire column shall be provided individual encasement protection by protecting it on all sides for the full column height, including connections to other structural members, with materials having the required fire-resistance rating. Where the column extends through a ceiling, the encasement protection shall be continuous from the top of the foundation or floor/ceiling assembly below through the ceiling space to the top of the column.

Penetration Firestopping

Penetrations in Fire-Resistance-Rated Walls: F-ratings per ASTM E 814 or UL 1479

Penetrations in Horizontal Assemblies: F- and T-ratings per ASTM E 814 or UL 1479

Penetrations in Smoke Barriers: L-ratings per UL 1479

Joints in or between Fire-Resistance-Rated Construction: ASTM E 1966 or UL 2079

Joints at Exterior Curtain-Wall or Floor Intersections: ASTM E 119 or ASTM E 2307

Where ducts penetrate fire rated wall assemblies, fire dampers shall be used. Fire-stop all penetrations through fire rated wall assemblies with an approved fire-stopping system.

Joints installed in or between fire-resistance-rated walls, floor or floor/ceiling assemblies and roofs or roof/ceiling assemblies shall be protected by an approved fire-resistant joint system designed to resist the passage of fire for a time period not less than the required fire-resistance rating of the wall, floor or roof in or between which the system is installed.

Joint Sealants

Latex and acrylic joint sealants

Mildew-resistant joint sealants

Urethane and Silicone sealants for acoustic penetrations and joints

Joint sealant backing

Division 08 – Openings

New curtain wall to include aluminum-framed entrances at Level 1 and to Terraces. Glazing shall be insulated and provide solar control. Coordinate with access control and auto-operator at main entrances.

New interior door openings consisting of hollow metal frames and painted metal doors to mechanical, electrical and utility spaces.

New interior door openings consisting of hollow metal frames, solid core wood veneer doors, with 18" laminated glass sidelights at classrooms. Provide min 45 STC rating.

New interior door openings consisting of hollow metal frames, solid core wood veneer doors, at offices. Provide min 45 STC rating.

All door openings in fire-rated construction shall match the fire-rating of the surrounding construction.

All door hardware shall be designed for heavy duty institutional use, and include overhead closers and mortise locks.

All interior and entrance glazing shall be safety rated.

All interior glazing in interior partitions shall be laminated.

All glazing in fire rated construction shall match the rating of adjacent construction.

All exterior glazing shall be insulated and provide solar control.

An enclosed vestibule shall be provided at all building entrances, with all doors equipped with self-closing devices.

Access Doors and Frames

Flush access doors and frames with concealed flanges, steel, factory primed.

Overhead Coiling Garage Style Door at Loading Dock

Skyfold Classic wall system at Auditorium.

Modernfold operable partition at pair of 1500 flat floor classrooms at Level 1.

Side Coiling Fire Door without egress ~80ft at Level 2 Faculty Lounge

Glazing

All interior glazing shall be tempered.

Single glazed units shall be min ½" thick.

Clear glazing, low iron.

Silicone Glazing Sealants

System components to secure glazing in place

Mirrors

Annealed monolithic glass mirrors, select quality, clear, nominal thickness 5.00mm, aluminum j-channels, rounded polished mirror edges.

Division 09 – Finishes

Gypsum Board Shaft Wall Assemblies

Provide fire-resistance rating and STC rating as indicated on drawings.

Type X shaftliner gypsum board

Firestop tracks to allow movement

Gypsum Board

All material to be minimum 5/8" fire resistance rated gypsum board unless otherwise noted.

Gypsum ceiling board

Glass-mat, water resistant backing board/cementitious backer units for tile backing panels.

New interior partitions from non-structural metal framing for deflection not to exceed 1/240 of the wall height when subjected to pressure of 5psf.

New interior partitions from floor slab to underside of slab or deck above.

Refer acoustical narrative for STC ratings of demising drywall partitions.

Construct partitions using Type X abuse resistance gypsum board.

Gypsum board at all bathroom areas shall be moisture-resistant.

4" tall resilient base both sides of all partitions.

Ceramic Tiling

Porcelain, Wall and floor tile

Accessories: metal extrusions for exposed edges

New tiled interior partitions from non-structural metal framing for deflection not to exceed 1/360 of the wall height when subjected to pressure of 5psf.

Wall tile shall extend from floor to ceiling

Acoustical Panel Ceilings

Class A, Flame spread index 25 or less, Smoke Index 50 or less
Mineral base with smooth, painted finish

Resilient Base and Accessories

4" high rubber, straight in areas with carpet, cove in areas with resilient/hard flooring.

Use rolled base, do not use 5' sections.

Resinous Flooring at Lobby, Prefunction, circulation and stairs

- Thin-set epoxy terrazzo flooring
- Basis of Design: T&M Supply, Terroxy
- Primer: Terroxy Primer or Terroxy Moisture Vapor Treatment
- Flexible Reinforcing Membrane: Terroxy Iso-Crack Epoxy Membrane
- Epoxy Matrix: Terroxy Epoxy Matrix
- Aggregates
- Finishing Grout: Terroxy Epoxy Matrix or Terroxy Clear Resin with broadcast filler
- Thin-set divider strips: L-type, white zinc alloy
- Overall system thickness: nominal 3/16" to 1/4"
- Tread and Riser Units
- Wall base units

Tile Carpeting

Modular carpet tile at Classrooms and Offices.

Wall Coverings

Class A, Flame spread index 25 or less, Smoke Index 50 or less
Heavy duty, recycled textile wall covering, bleach cleanable

Sound Absorbing Ceiling Units

Class A, Flame spread index 25 or less, Smoke Index 50 or less

Interior Painting

- Gypsum board walls: Apply 1 coat primer and two coats of selected color, low VOC, eggshell finish, latex enamel.
- Gypsum board ceilings: Apply 1 coat primer and two coats of selected color, low VOC, flat finish, latex enamel.

- Interior metals: Apply 1 coat primer and two coats of selected color, low VOC, semi-gloss finish, alkyd enamel finish. Paint all door surfaces.
- Interior wood: Apply primer and two coats of selected color, low VOC, satin finish.

Division 10 – Specialties

Room Identification Panel Signage

Interior Signage include the following:

- Building Directory
- Floor directories
- Directional signage
- Emergency refuge areas
- Code required signage - occupancy loads for assembly spaces, elevator, and egress stairs.
- Room identification signs/numbers
- Public toilet rooms – all-gender and ADA symbols.
- Emergency egress – signage will be able to hold 11x17 owner provided insert.

Wall and Door Protection

Corner guards: surface mounted, metal, stainless steel, full height.
End Wall Guard: surface mounted, metal, stainless steel, full height.
Door protection plates at Utility Room doors: surface mounted, metal, stainless steel.

Restroom Accessories

Furnish and install new restroom accessories, including hand soap dispenser, hand sanitizer dispenser, toilet paper dispenser, feminine hygiene disposal, excel hand dryer (Xlerator), paper towel dispenser, garment hooks, grab bars, mirror and parcel shelf.

Construct fire resistive treated wood blocking behind all items.
Mount with concealed fasteners where possible.

Fire Protection Cabinets

Furnish and install semi recessed fire extinguisher cabinets with clear, flat panel vision.

Fire Extinguishers

Furnish and install multi-purpose (ABC) dry chemical type, min capacity 10# fire extinguishers complying with NFPA10. Type K at Coffee shop.

Division 11 – Equipment

Refer Audio Visual Narrative

Furnish and install food service equipment at Coffee Shop located on Level 1.

Division 12 – Furnishings

Roller Window Shades

Motorized single roller with front fascia.

Comply with NFPA 701

Light filtering, 5%, architect select from manufacturer standards.

Bottom (hem) bar – fabric wrapped bar.

Solid surface countertops

Straight front, slightly eased edge, ¾” thick, solid surface material
Provide ¾” thick 4” high backsplash unless otherwise indicated

Division 13 – Special Construction (not used)

Division 14 – Conveying

Two (2) new 3-stop 2,100lb accessible machine-roomless passenger elevator. Basis of Design is Schindler 3300.

Alternate #1: Two (2) new 4-stop 2,100lb accessible machine-roomless passenger elevator. Basis of Design is Schindler 3300

Sustainability Attributes

The design of the new college of business will incorporate sound and practical sustainability practices and features to achieve LEED Silver.

Key sustainable features will include:

- Energy efficient lighting and controls
- Low VOC materials
- Materials with recycled content and renewable material, where practical
- Creating views and access to natural light
- Optimizing energy performance via mechanical systems and the exterior envelope
- Water use reduction
- Utilizing the project location for transit options
- An environment to challenge thinking and inspire industry sustainable creativity

END OF ARCHITECTURAL NARRATIVE

FIRE PROTECTION SYSTEMS NARRATIVE

A new 6” fire service line will be supplied to the new building via underground supply from the local water main infrastructure. Incoming fire service shall include a post indicator valve and a double detector check valve assembly. Installation shall meet or exceed all applicable requirements of NFPA, state, and local codes.

The entire building shall be provided with a new fire suppression system designed in accordance with all applicable standards of NFPA including but not limited to NFPA 13. Piping 2” and smaller shall be schedule 40 steel pipes with threaded fittings, and 2-1/2” and larger shall be schedule 10 steel pipes with grooved type fittings.

Preliminary design includes plans for a 3-story building without standpipes.

Should the building be expanded to 4 stories, then Class I manual wet standpipes shall be added to each egress stairwell. If standpipes are to be included then at least 1 of these standpipes will be utilized as a combination sprinkler-standpipe, otherwise an independent sprinkler riser will be provided.

The building will be divided into multiple fire zones, specifically each floor will be considered its own fire zone and be provided with a control valve, tamper/flow switches, and drain assemblies (Floor Control Valve Assembly). The need to provide multiple zones per floor (if required) will be based on area limitations per NFPA-13

Sprinklers shall be recessed, quick response, pendant type sprinklers in areas containing ceilings. Upright sprinklers shall be used in areas containing no ceilings, such as mechanical rooms, etc. Dry

pendant/upright type sprinklers shall be utilized in the areas subject to freezing temperatures such as the loading dock. Sprinkler drain risers will be provided to allow system to be fully drained. Sprinkler drain piping shall be routed and spilled to grade or to a drain capable of handling the discharge flow.

Fire hydrant flow test will need to be performed to determine available static pressure, residual pressure, and flow. The need for a fire pump will be determined based on this flow test results. An additional updated flow test shall be conducted by the awarded project sprinkler contractor for confirmation.

END OF FIRE PROTECTION SYSTEMS NARRATIVE

PLUMBING NARRATIVE

Sanitary Sewer Service:

The building sanitary sewer will utilize a network of sanitary piping sized in accordance with the current State of Kentucky Plumbing Code and shall drain via gravity to an exterior manhole(s) and sanitary sewer system.

Multiple sanitary sewer exit points at the perimeter of the building may be required for this project.

Mandatory cleanouts every 100' (minimum) for all sanitary piping.

Domestic Water Service:

A new three inch (3") metered domestic water main will be supplied to the new building via underground water main piping from the local water company. The incoming water service will be located in the Main Mechanical Room and provided with dual backflow preventers in accordance with local water company standards. Backflow preventer shall be located between 12" – 60" AFF

An estimated 2" water meter will be provided by the local water company.

Pressure regulating valves to be provided as required.

Domestic Water Heating System:

The domestic water heating will be provided via multiple high efficiency gas fired water heaters, with storage tanks. The water heater will produce 140°F-160°F domestic hot water for distribution to the entire building. A thermostatic mixing valve station (set at a max. of 120°F) will be provided to limit the hot water to hand washing sinks or similar plumbing fixtures.

The domestic water heating systems will be fully re-circulated to maintain a minimum of 10°F temperature loss throughout the respective hot water loops.

The BMS will be utilized (via Aquastat) will be used to control & track hot water system temperatures in accordance with ASHRAE's Advanced Energy Design Guide.

All gas fired water heaters shall be a minimum of 90% efficient with all tanks being provided with a 20 year no leakage parts & labor replacement warranty.

Roof Drainage System

Roof storm drainage will be collected via multiple combination primary/overflow roof drains. All roof drains will be sized in accordance with the requirements of the state plumbing code. All primary roof drain piping will be collected and distributed out to site via a new underground pipe system. All overflow roof drain piping will be routed to the building exterior and spill to daylight. The typical roof drains will be a dual outlet type drain body, similar to a Zurn model Z103-45 or equal, with a 2" internal dam. Insulation of storm piping shall be a minimum of 1" thick.

Natural Gas System

A metered natural gas service will be supplied to the building to serve the domestic water heating, any HVAC equipment, the generator. All piping on the house side of the meter will be sized based on 7"-11"w.c.

Piping Materials

Plumbing Waste and Vent Piping Materials:

All above & below slab sanitary waste & vent piping shall be schedule 40 PVC piping where possible and fittings with solvent cement joints will be utilized throughout the building except for the areas, where drainage temperatures may reach approx. 140°F, these areas will be provided with service weight, hub less, cast iron piping for above slab installation and service weight, hub & spigot piping for below slab installation. Any piping routed in a plenum space will utilize cast iron.

Domestic Water Piping Materials:

Underground (MAIN WATER SERVICE) -Type K Hard Copper with lead free silver solder joints. 150 lb, flanged or screwed, ball, bronze valves. No joints shall be located below slab of building. Above ground – Type L Hard Copper with lead free silver solder joints. 150 lb, flanged or screwed, gate or ball, bronze valves. All piping 1-1/4" & above shall be provided with brazed connections.

All above ground water piping shall be insulated per the energy code.

Insulation of water piping shall be a minimum of 1" thick with exception of 1-1/2" & larger hot water piping, which will be provided with 1-1/2" insulation.

Natural Gas Piping Materials:

All piping on the house side of the meter shall be Schedule 40 black steel piping and fittings.

Piping identification:

Pipe labels shall be provided on 25' centers. This distance shall be reduced in congested areas. Additional labels shall be provided near valves, each branch, equipment, both side of a wall, etc. All piping in exposed mechanical/boiler rooms shall be painted and color coded.

Plumbing Fixtures

All plumbing fixtures used by students shall be vandal proof/resistant.

Water Closets shall be floor mounted, siphon jet flush action, with hardwired sensor flush valves (1.1 gpf).

Lavatories shall be either undermounted at countertops or wall hung type with hardwired sensor single level handles/faucet (0.5 gpm).

Urinals shall be wall hung with hardwired sensor flush valves (0.125 gpf)

Break room / conference room sinks shall be stainless steel undermount style with a gooseneck faucet & manual wrist blade handles.

Drinking fountains shall be wall hung, dual height with automatic bottle filling stations

Plumbing fixtures shall be high efficiency, water saver type where applicable.

Freeze Proof Wall Hydrants shall be provided on 100' centers around building perimeter per the GCS Facilities Standards. Each wall hydrant shall be provided with its own isolation valves inside the building.

All floor drains shall be provided with electronic trap primers.

For domestic water systems, each building wing shall be provided with separate isolation valves as well as each restroom group.

Preferred vendors are as follows:

Zurn, American Standard or Kohler for vitreous china fixtures

Sloan or Zurn for flush valves.

Elkay or Just Mfr. for stainless steel sinks

Elkay, Oasis, or Halsey Taylor for drinking fountains

MECHANICAL NARRATIVE

General

The following Conceptual Narrative describes Mechanical work associated with the proposed ~ 110,000 gross square foot New College of Business building.

Codes & Standards

Applicable Codes and Standards shall include all State Laws, Local Ordinances, Utility Company regulations, and the applicable requirements of the following accepted Codes and Standards, without limiting the number, as follows. Where code references are given, the latest issue of that code in effect at the time of bidding shall be used. Refer to the following Codes, Standards and Regulations:

- American National Standards Institute (ANSI)
- American Society for Testing and Materials (ASTM)
- American Society of Heating and Refrigeration (ASHRAE)
- ARI (American Refrigeration Institute)
- National and State Electrical Code (NEC) (2017)
- National Electrical Manufacturer's Association (NEMA)
- National Fire Protection Association Codes and Standards (NFPA)
- Occupational Safety and Health Act (OSHA)
- Standards of Underwriters Laboratories (UL)
- Accessibility Requirements Code
- Environmental Protection Agency
- International Building Code (2015)
- International Mechanical Code (2015)
- Kentucky Building Code (KBC) (2018)
- International Energy Conservation Code (2012)
- Kentucky State Plumbing Code (KAR Title 815, Chpt. 20)

Design Criteria & Assumptions

The design criteria to be utilized for HVAC design, Energy Modeling and Heating/Cooling Load Calculations.

In addition to the codes listed above, codes used specifically for the HVAC design of the project are listed below. If a conflict arises between the codes, the stricter shall control.

ASHRAE 55 - Thermal Environmental Conditions for Human Occupancy (2013)

ASHRAE 62.1 - Ventilation for Acceptable Indoor Air Quality (2010)

ASHRAE 90.1 - Energy Standard for Buildings Except Low-Rise Residential Buildings (2010)

IBC - International Building Code (2015)

IMC - International Mechanical Code (2015)

Part of the state regulations will be to achieve seven (7) LEED energy points. Within this document where energy strategies are incorporated, they are noted as such throughout this document. HVAC Control schemes and sequences will as a minimum meet the requirements of 2010 ASHRAE Standard 90.1, 2010, ASHRAE Standard 62.1, Energy Standard for Buildings-Except Low-Rise Residential Buildings as well as the 2012 International Energy Conservation Code.

All HVAC equipment, ductwork, piping, etc. shall be seismically braced per Kentucky Building Code and ASCE7-05. Seismic Design Category is assumed to be C at this time.

The design of HVAC systems with respect to noise and vibration control will be in accordance with ASHRAE standards. The following maximum sound levels will not be exceeded in the design or installation per the following requirements:

Classrooms	NC30-35
Offices	NC35
Conference rooms	NC25-30

Corridors and support areas NC45

Cooling Design Conditions:

Outdoor Air Summer Dry Bulb: 93.2°F

Outdoor Air Summer Wet Bulb: 75.5°F

Indoor Cooling Space Conditions: 75° F & 50% RH;

Design RH maximum: 60% RH

Design RH minimum: No design minimum humidity unless otherwise noted

Mechanical/Electrical Rooms: 80° F

Comm Rooms: 75° F

Heating Design Conditions:

Outdoor Air Dry Bulb: 8°F

Indoor Heating Space Conditions: 70° F unless noted otherwise

Humidity Control: No positive control incorporated into the design.

Design RH minimum: 30% RH in labs; No design minimum elsewhere

System Temperature Settings:

Occupied Areas (Need to add dead-band for changing from heating to cooling)

Occupied Heating: 68° F -72° F, Unoccupied Heating 60F

Occupied Cooling: 75° F -77° F, Unoccupied Cooling 85F (deviation from standard 72F-78F, due to IECC)

Mechanical Areas and Electrical Areas

Heating: 60° F

Cooling: 77° F

IT Spaces: Cooling only 68° F 24/7

CMTA recommends IDF spaces share a heat pump for cooling. MDF space will have a dedicated heat pump. If any IDF room calls for

cooling, the heat pump will cool both spaces. Setpoints are typically closer to 77° F.

Hours of Operation (Assumed):

Classroom School Hours/Days: Monday thru Friday – 8 AM
– 10 PM (14 hours per day)

Spring: Jan 5 - May 1

Summer: May 10 - July 25

Fall: Aug 14 - Dec 16

Scheduled classrooms unoccupied on Weekends, Holidays,
Breaks between semesters

Office Hours/Days

Generally, in operation 8AM- 6PM (10 hours per day
year around)

Scheduled Offices unoccupied on Weekends and
Holidays

Building Pressure Testing & CO2 Levels

The contractor will be required to perform an exterior enclosure Full Building Air Leakage blower door test in accordance with ASTM E 1827, Single Point Method. Air leakage through full building enclosure shall not have exceeded 0.15 cfm/sq. ft. of surface area when tested in accordance with ASTM E 1827 at a static-air-pressure difference of 0.30 in. w.g. A Harvard Study on the relation between CO2 and cognitive function was discussed in programming meetings. The goal is to provide maximum CO2 levels of ~1,000 PPM (ABSOLUTE READING) in learning spaces. The following ventilation rates are to be utilized per each space type:

Office/ Open Areas: Code Minimum

Education Spaces/Conference Rooms: 30% increased
ventilation (10% diversity taken- DCV to maximum of
~1,000 PPM)

HVAC Systems

Heat gain and heat loss calculations will be performed in accordance with the current edition of the ASHRAE Handbook of Fundamentals and the latest edition of the ASHRAE Cooling and Heating Load Calculation Manual. The Heating and Cooling Load calculations will be performed on a room-by-room basis. The design will comply with ASHRAE 90.1.

Actual light fixture count and heat release data will be utilized to calculate the heat dissipated by the lights into each space. Preliminary loads are based on ASHRAE 90.1 light power density allotments.

For “plug loads”, the actual equipment counts, and rating will be utilized to determine the wattage of heat dissipation to the spaces. The building will be designed and zoned for the two primary use spaces within the building Office/Building support, which will be in operation all year, and the educational/teaching spaces which will primarily operate during the “school year.” The system design will accommodate this dual building program with HVAC systems capable of peak and marginal loads.

Chilled Water

The preliminary load calculations indicate 300 tons of cooling is required.

The building will be served by one 200 ton centrifugal chiller and one 100 ton heat recovery chiller that are located on the ground floor. The centrifugal chiller will carry 66% of the building load. The heat recovery chiller will also be sized for 33% of the building load. Two chillers are required to meet the peak building load. They will distribute chilled water to the air handling units.

The 200 ton water-cooled chiller with refrigerant monitor and fluid cooler, will be installed to produce chilled water for the air handling units and the dedicated outside air system.

The chiller will be in mechanical room located on the ground floor and acoustically treated to attenuate compressor noise. The air cooler will be located on the roof of the building and screened for acoustics and visual reductions to the environment.

The heat recovery chiller will reject heat into the hydronic hot water loop through a heat exchanger and preheat the domestic hot water with a double wall gasketed plate and frame heat exchanger. When reheat is required in the building the heat recovery chiller will be the first stage of chilled water. In the event the chiller is producing excess heat and requires additional heat rejection a heat exchanger to the condenser water loop will be utilized for heat rejection. The heat recovery chiller provides heat during the summer, this reduces the annual consumption of natural gas from the boilers. This strategy will count towards the LEED points required for the project.

The four condenser water pumps will be 300 GPM each (n+1 redundancy), the chilled water pumps will be sized based on the demand of the AHU and DOAS units. All pumps will be installed within the ground level mechanical room for distribution of the chilled water to the new air handling units cooling coil.

Low Temperature Hot Water (LTHW)

Two 90% high efficiency, 950 MBH nominal (75% redundancy), natural gas condensing boilers will be installed to provide heating hot water for the building. These systems are significantly more efficient than utilizing steam and will count toward the LEED points required for the project. Lochinvar is basis of design with BACnet interface to the DDC control system. New combustion air venting

will be through the side wall of the mechanical room through a concentric vent 10' separated from the OA units ventilation intake. The heating hot water pumps and hydronic piping will be installed within the ground level mechanical room for distribution of the heating hot water to the VAV unit reheat coils and the heat pump loop.

The boiler system and associated HVAC equipment will operate on low temperature hot water system with an expected hot water distribution at 120°F to 130°F. This strategy will count towards the LEED points required for the project.

Winter Mode:

The first stage of heating will be one gas fired ~950 MBH condensing boiler.

Second stage heating will be the second gas fired boiler.

Summer Mode:

The first stage of heating will be provided by the heat recovery chiller.

Alternate ASHP

An alternate system shall be considered and evaluated as means of providing hot and cold water.

Hot and chilled water will be provided to the AHUs and DOAS units by a new central air-source heat pump system with heat recovery capable of simultaneous heating and cooling.

Basis of Design: MULTISTACK Water-to-Water Heat Pump with Auxiliary Air-Cooled Condenser.

Air-source heat pump system is a modular 300-ton unit comprised of ten (10) 30-ton air-source heat recovery chillers, to be located on the roof of building.

The multi-module chiller will be able to produce chilled water and hot water even in the event of a failure of one or more refrigerant circuits, minimizing building downtime during system failures. Each individual module will be able to provide, (1) full cooling capacity

with zero need for hot water, (2), full simultaneous heat recovery, providing full heating and cooling capacities, and (3) full heating capacity with zero need for chilled water.

The control system shall monitor entering and leaving chilled water and hot water temperatures to determine both the chilled water and hot water system demand. The control system will use the demand to make staging mode (cooling, heating, or simultaneous heat recovery) decisions and select the number of compressor circuits required to operate. The system shall provide for variable time between compressor sequencing and temperature sensing, so as to optimize the chiller performance to different existing building loads.

The new chilled water and hot water piping will be extended from the heat recovery chillers to the new mechanical room.

Chilled water supply temperature shall be 43°F with a 12°F delta T.

Hot water supply temperature shall be 120°F with a 20°F delta T.

The system will be able to reliably produce 130 deg F water at 0°F Ambient and use glycol as the process fluid.

Dedicated Outside Air System (DOAS)

Fresh air will be supplied to all spaces by DOAS units, complete with MERV 8 prefilters, MERV 13 unit filters, energy recovery ventilator, hot water heating coil, and chilled water-cooling coil with face and bypass damper. This strategy will count towards the LEED points required for the project.

The DOAS units will provide room neutral air to the spaces. The hot water coil will be based on 120°F HWS temperature. The chilled water coil will be based on 12°F delta T.

The chilled water coil will be sized to cool the entire airflow to 55°F, and the face and bypass damper will modulate to maintain a room

neutral mixed air temperature. Single wall galvanized steel duct will distribute supply air to the occupied spaces and single wall galvanized duct will collect exhaust air from the space. The fresh air will be distributed via VAV terminal boxes.

Each classroom/educational space will have a dedicated VAV box that will be ducted direct to the space. Offices will be zoned for 3 to 4 offices to have a common VAV box with the fresh air ducted direct to the space. VAV boxes shall be controlled by room mounted CO2 sensors.

Any onboard controls will have BACNET serial interface and the DOAS unit will be controlled, monitored and alarmed by the JCI EMS.

Humidifiers may need to be included in the building to provide in the air handling units to maintain 30% relative humidity in the building. The evaluation of humidifiers inclusion will be considered in the future after the building program has been confirmed.

Air Handling Unit (AHU)

All new units will be modular, double-wall type units. The air handlers will provide 55-degree Fahrenheit discharge air temperature. The mechanical room layout will include space for coil removal and fan replacement. Each coil section will be piped with a separate shutoff valve. The chilled water will be supplied with 3" supply and return chilled water piping from the chiller located in the basement mechanical room.

All units will be provided with MERV 8 prefilters and MERV 13 inline filters. All units shall be located on a 4-inch concrete maintenance pad with floating floor and include vibration isolators on fans. Each air handler will be variable air volume with access sections as required to properly service the unit.

The units generally will consist of VAV supply fan(s) with ECM motors, chilled water-cooling coils sized for a 15 degree delta T with recirc. pump, outside air and return air dampers with air-side economizer capability, and appropriate access doors. Each unit shall also have a variable flow relief fan for use in building pressure control.

Unit locations will be coordinated as the design progresses. Options for placement will include the ground level mechanical room, rooftop, or roof penthouse. Any AHUs located on the roof will require review and acceptance from the University's facilities team.

Energy Recovery Ventilator (ERV):

As stated above, the DOAS unit will be provided with an energy recover ventilator system (ERV). The ERV tempers incoming outdoor air with heat from the exhaust air, significantly reducing the demand on heating and cooling equipment. ERVs work by transferring heat contained in exhausted (indoor) air to incoming (outdoor) air or vice versa, depending on the season. The two air streams do not mix, keeping odor and pollutants in exhausted air separate from fresh supply air. These preconditioning conserves a significant amount of energy that would otherwise be lost with traditional exhaust ventilation methods.

In addition to the DOAS units' ERVs, energy recovery ventilators will be leveraged where possible for AHU ventilation and toilet exhaust.

Fan Coil Units (FCU)

In some areas of the building where decoupling the ventilation from AHU may be required (year round offices, etc.) The source of cooling and heating will primarily be horizontal ducted 4-pipe fan

coil units concealed above the ceiling. All FCUs will have EC motors and will be selected for medium speed.

Heating coils for the fan coils will be based on 120°F HWS temperature.

Cooling coils for the fan coils will be based on 12°F delta T.

Where applicable, Each corner office will have a dedicated FCU.

No more than 3 offices shall be zoned on a common FCU.

FCUs shall be controlled by room mounted thermostats.

Ductwork, & Accessories

All ductwork shall be galvanized steel constructed to SMACNA's standards. All ductwork joints will have a sealer applied as dictated by system duct pressure. The supply ductwork (upstream of terminal units) will need to be medium velocity, rectangular type; Run-outs to the terminal units shall be round medium pressure, spiral ductwork. The LOW-PRESSURE ductwork (Return, exhaust, and downstream of the terminal units) will be low velocity, 2-INCH pressure class. Low pressure return, exhaust and supply ductwork will be low velocity, rectangular type.

Duct locations will be coordinated with all disciplines. All duct work will be insulated to meet IECC 2006 standards. Volume control dampers will be provided at supply, return, and exhaust branch ductwork take-off locations. All supply, return, and exhaust systems will be pressure tested at specified pressure levels to ensure air leakage is minimized. Flexible duct will be insulated metallic and shall be limited to 4'-0" spans.

Grilles, Registers and Diffusers

Air distribution devices will be factory-fabricated corrosion-resistant steel or aluminum and will distribute the specified quantity of air evenly over space intended without causing

noticeable drafts. All diffusers will be selected for a NC noise criteria of 20 or less, with an air pressure drop of 0.05 inches or less. Diffusers in areas where required will be selected as laminar airflow and will be laid out in a manner to reduce air recirculation and turbulence in the room.

Piping

Hydronic piping will be designed to be efficient, easily hydraulically balanced, and accessible. Valves shall be provided in accessible areas to isolate portions of systems. Piping sizes will be based on economical operation and common practice.

Hot/Chilled/Condenser Water Piping

Option 1: Schedule 40 black steel 125# welded or flanged joints or mechanical grooved pipe couplings and fittings with 125# rating manufactured. Valve tags and charts shall be provided for every valve 1" and larger within the facility.

Option 2: Polypropylene piping utilized to reduce chemical treatment requirements, reduce service requirements, maintain energy efficiency and system performance.

Insulation

Heating Hot Water: 1 1/2" to 2" thick fiberglass for pipes;

Chilled water: 1 1/2" to 2" thick fiberglass for pipes;

Supply Air and Outside Air Ductwork: 2" thick fiberglass.

Test and Balance

All HVAC air distribution and hydronic systems shall be balanced to AABC standards. All medium velocity ductwork shall be pressure tested.

Pipe and Ductwork Identification

All piping and ductwork shall be labeled every 15 feet with color coded labels. Small lamacoid equipment markers shall be installed on the "T" bar of ceiling grids to identify the location of equipment, valves, or dampers above lay-in ceilings.

HVAC Controls

Mechanical systems will be controlled by Johnson Controls direct digital control (DDC) system utilizing stand-alone controllers and tied into the Campus Building Automation System. This system will be designed to provide sufficient flexibility for future modifications or expansions, as required. Controllers for the individual items of equipment will be provided with control point capacity as required for energy efficiency and control functions. All local control modules will be provide at least 10% spare points and will have battery backup and automatic memory reloading features. Mechanical systems will be controlled by DDC local control modules capable of stand-alone operation in case of the loss of communications but will normally communicate with the DDC network.

System will include detailed graphic displays, communications control between all elements of the DDC system, and application packages for energy management, facility management, power failure/automatic restart, system diagnostics and alarm monitoring and annunciation.

Zone shall be established in the design progresses and zones shall be occupied as stated above. Each zone shall be programmed independently for facilities' discrete control and programming.

END OF MECHANICAL NARRATIVE

ELECTRICAL NARRATIVE

General

The following concept narrative describes electrical work associated with the proposed ~ 110,000 square foot new College of Business. This narrative is based on the following codes and standards:

- 2018 Kentucky Building Code
- 2017 NFPA 70 National Electrical Code
- 2012 NFPA 101 Life Safety Code
- 2013 NFPA 72 National Fire Alarm and Signaling Code
- International Fire Code 2015
- 2012 International Energy Conservation Code
- Illuminating Engineering Society of North America Handbook
10th Edition

The project will meet the requirements for LEED v4 Silver compliance.

Seismic Design Considerations

The facility is anticipated to be Seismic Design Category C, but this has yet to be confirmed with the local Geotech report (not received).

As such, seismic restraints for MEP components are not anticipated. If the Seismic Design Category is determined to be a C, then the following will apply:
Per ASCE 7 – Minimum Design Loads and Associated Criteria for Buildings and Other Structures the component importance factor (IP) shall be assigned as 1.5 for all components that meet any of the following criteria:

- The component is required to function for life-safety purposes after an earthquake, including fire protection sprinkler systems and egress stairways.

The component is in or attached to a Risk Category IV structure and it is needed for continued operation of the facility, or its failure could impair the continued operation of the facility.

Generally, these systems include the life safety and fire protection systems. All other components are to be assigned a component importance factor (IP) equal to 1.0.

Per section 13.1.4 Exemption item 5, “Mechanical and electrical components in Seismic Design Category C provided that the component importance factor, IP, is equal to 1.0” are exempt from additional seismic requirements.

Power Distribution

Site Power

Power for this facility will be provided by an outdoor oil filled (less flammable oil), pad mounted transformer. Preliminary calculations indicate a 2000 kVA transformer will be required. The transformer will be fed from an existing S&C switch on the University’s medium voltage 12.47KV distribution system. Medium voltage cabling and configuration of switch trip settings will be provided by contractor. The transformer secondary feeders and medium voltage cabling will be in concrete encased duct banks.

Power will be distributed to site lighting, emergency call boxes, manholes, and miscellaneous 120V end use loads as necessary. Power under 600V will be in direct buried Schedule 40 PVC conduit.

Power for electrical vehicle charging shall be provided at a minimum of one (1) space in the expanded parking lot.

Facility Power

The main electrical service will be a 480Y/277V, 3-phase, 4 wire main switchboard located in the main electrical room. Preliminary calculations indicate a 2500A service will be required. The main switchboard will have surge protection and the main breaker will be 100% rated with electronic trip and ground fault protection (LSIG). Building power metering will be installed per campus standards and interfaced with the building management system.

480Y/277V power will be distributed vertically through the building from the main switchboard. 480Y/277V panels will be located where needed for lighting and mechanical equipment. 208Y/120V power will be derived in each electrical room by dry-type K-rated transformers. Derived 208Y/120V systems will have separate surge protection devices. Dry type transformers will have copper windings and be rated for 150°C rise.

A fire pump may be required based upon the results of a flow test that has yet to be performed. If a fire pump is required, dedicated feeders from the service transformer and generator will be required to a fire pump transfer switch and controller.

Lamicaid labels will be provided for all electrical distribution equipment with an equipment naming scheme approved by the University.

Emergency Power

An exterior 480Y/277V emergency generator will be installed on the site. Preliminary calculations indicate a 250 kW generator will be required. This generator will supply egress lighting, fire alarm systems, and selected optional loads. Automatic transfer switches will supply legally required emergency and optional standby loads.

The generator will be equipped with a sub-base 24-hour diesel fuel tank and a weatherproof sound attenuated enclosure. Generator alarms will be interfaced to the building management system.

The legally required emergency system will be supplied by a dedicated 480Y/277V automatic transfer switch. This will provide power for emergency and egress lighting and the fire alarm system.

The optional standby system will be supplied by a separate 480Y/277V automatic transfer switch. This will provide power for select maintenance receptacles, refrigerators, security systems, and select mechanical systems.

Lighting

The lighting will be designed per University Standards and IESNA recommendations. The lighting and controls will meet requirements of the 2012 International Energy Conservation Code.

The lighting system will be designed at 277V to minimize branch circuits and to reduce step-down transformer sizes. An LED lighting source will be predominantly used throughout the building to reduce maintenance costs and to provide energy savings.

Lighting sources in public areas will be 3500 Kelvin color temperature.

Emergency lighting throughout the building will be powered by the emergency generator. Select corridor lighting will be configured as night lights to operate 24/7. Other egress lighting will be equipped with an integral automatic transfer relay to allow local control during normal operation.

Outdoor lighting meeting University standards will be provided at walkways and entrances into the building. Lower lighting levels will be considered to minimize the interference with the campus observatory.

Refer to the separate lighting design narrative for additional information.

Light levels

Spaces will be designed for average maintained horizontal illuminance levels as noted below:

Lecture Halls / Classrooms:	40-50 fc
Offices:	30-40 fc
Conference Rooms:	50-75 fc
Admin Support Spaces:	30-40 fc
Corridor / Lobby / Stairwell:	15-20 fc
Support Areas:	10-20 fc
Exterior Building Entrances:	5 fc

Lighting Controls

The building lighting will have automatic shutoff controls based on occupancy and time of day. Basis of design to be Acuity nLight or equal by Wattstopper DLM or Hubbell NX. Occupied spaces will have full dimming control. Normally unoccupied spaces, such as restrooms or storage rooms, will be on/off control only. Additional controls and/or task lights may be required to meet LEED v4 Controllability of Lighting credit.

Entry and corridors will be connected to time-of-day controls. Time-of-day controls will be provided by local networkable relay controls located near the lighting loads. These areas will have local occupancy sensors for override to ON during normally scheduled off times at night.

This system will interface with the Siemens Insight Building Automation System for ease of reporting, programming, and scheduling.

Offices, testing rooms, exam rooms, and small support rooms will be provided with stand-alone dual-technology occupancy sensors with dimming control. Select areas will be provided with an

input/output module for reporting of occupancy status to the mechanical BAS system.

Daylight harvesting and multi-level control of lighting will be provided in accordance with energy code requirements. Emergency lighting that is desired to be controlled with adjacent normal powered lighting will utilize a UL 924 listed control relay to automatically turn lights to on at full output upon a power failure. Exterior lighting will be controlled by a combination of time-of-day controls and outdoor photocell.

General Materials

Wiring

Conductors will be provided per NEC and University standards. All conductors will be copper.

15KV conductors will be copper 133% EPR MV-105 type as manufactured by one of the University's approved suppliers. Conductors for 480V through 120V circuits will be copper THWN/THHN thermoplastic insulated. Color code will follow industry standards. Each circuit will have a dedicated neutral conductor. Conductors will be solid for size AWG 6 and smaller. Conductors will be sized to limit voltage drop to 2% for feeders and 3% for branch circuits. Minimum wire size will be #12 AWG.

Conduit

All power wiring will be installed in conduit. Minimum size will be ¾" except communications which is discussed under that section. Supports will be installed per NEC.

EMT will be utilized for general purpose locations within the building. Fittings will be compression type for ¾" to 2 ½" and double setscrew type for 3" and larger.

Rigid steel conduit will be utilized in above-grade exterior locations, in mechanical spaces, and in other areas exposed to physical damage.

Schedule 40 PVC will be used below slab and in any area necessary for corrosion resistance. No conduit will be installed within slabs. All interior conduit will be concealed except for mechanical and other unfinished spaces where appropriate.

Devices

Wiring devices will be installed per NEC and University standards. Covers for normal and emergency devices will be 304 stainless steel.

General use duplex receptacles will be 20 amperes, 125 volts. Select receptacles in collaboration and seating areas will include type USB-C and USB-A outlets.

General use light switches will be 20 amperes, 277 volts or low voltage type as necessary for the control system.

GFCI protected receptacles are used in wet locations and elsewhere as required by code. All exterior receptacles will be provided with a die-cast in-use cover.

Floor boxes will be provided in select seating and collaboration spaces where wall power connections are not feasible. Basis of design to be Legrand Evolution series.

All outlet covers will be labeled with panel number and circuit number. The inside of outlet box covers will also be labeled with panel and circuit.

Emergency power receptacles and will be red.

Fire Alarm System

A manual and automatic fire alarm system will be provided for the facility in accordance with the International Fire Code, Life Safety Code, National Fire Alarm and Signaling Code, and University standards.

The fire alarm system will be provided by Simplex Grinnell and may be provided by allowance under the electrical contractor's scope of work.

The fire alarm will be a voice evacuation type and interfaced with the campus emergency notification system. A local origination console will be provided in the building. The system speakers will be permitted to be used for paging and brief announcements.

The system will be activated by:

- Manual means at exits and as required by code.

- Automatic means on sprinkler water flow.

- Automatic means by smoke detection at elevator locations, control locations, smoke doors, and air handling units as required by Code.

Alarms and trouble conditions are to be transmitted to the campus central receiving station. All fire alarm cabling will be installed in a dedicated conduit system.

Commissioning

Commissioning will be performed on the building electrical systems as required by the energy code. An independent commissioning agent will be hired by the client to perform commissioning, and the Owner, engineer, and installing contractors will participate in the commissioning process.

Lightning Protection System

A lightning protection system will be provided as recommended by NFPA 780 and will be Master UL certified. All conductors to be copper and ground rods to be 3/4" x 10'-0" copper clad steel.

END OF ELECTRICAL NARRATIVE

LIGHTING DESIGN NARRATIVE

Introduction

Lighting is a driver of many aspects of user experience, task performance and social engagement. This includes not only aesthetics and basic function, but also diverse topics such as project identity, student and visitor behavior, attention spans, emotional and physical health, sleep cycles, environmental impact, operating cost, staff retention and beyond.

The document outlines the initial brief, for further development, considering constraints such as budgets, code, standardization across the campus as well as available resources such as maintenance capability and the like.

Lighting at the new Gordon Ford College of Business at Western Kentucky University shall consist of a series of discrete technical integrated solutions which enhance the architectural language, thoughtful of the utility function/scale of the spaces and that will respond to the special needs and expectation of the community.



Maintenance

One of the key points for having a successful building once it is operating, is the maintenance. One of the key strategies is to minimize the number of different fixture types. Where possible, they shall use common driver (control electronics) types, reflectors, and LED sources for interchangeability. It also allows for a minimization of contact points for warranty support. Additionally, it reduces the number of control types utilized through the project. Where possible, long-life components shall be selected for, as defined by IES LM79 and LM80 standards for LED output maintenance and time between electronics failures.

Where possible, fixtures shall be non-adjustable in orientation, focus or otherwise, to prevent the need for specialist skills during maintenance. This allows the lighting to operate on a turn-key basis, not requiring specialist commissioning. Adjustable luminaires may be used sparingly at stages and for exterior lighting where performance and environmental impact mitigation require. The maintenance time involved in of adjustments will be minimal, not only during final commissioning but throughout the operating lifespan.

All luminaires are to be specified with a minimum 50,000-hour operating life, however, where possible, longer lifespans shall be used. Evaluation shall be based on the forward operating cost of the building relative to the capital investment.

Environment

Following best practice, the lighting design shall minimize and mitigate environmental impacts through the following strategies:

- Managed lifecycle impact through maximization of luminaire life;
- Use of locally or regionally sourced luminaires to minimize transportation impact;
 - High efficacy sources and efficient drivers reducing energy consumption;
 - Control system with occupancy and other sensor technologies to ensure operation only when required;
 - Daylight harvesting where-ever possible to minimize luminaire run time and intensity; and
 - Reduction of light trespass both to adjacent areas and as fugitive sky glow.

Lighting Levels and Regulations

All lighting shall observe the following codes and recommended practices, unless good design would otherwise dictate:

- 2017 NFPA 70 National Electrical Code;
- 2012 International Energy Conservation Code;
- IES Recommended Lighting Levels (The Lighting Handbook Edition 10, 2012)

The Illuminating Engineering Society (IES) Lighting Handbook recommends illumination standards for diverse space types, including the full academic environment. The recommendations cover the amount, type, and direction of light for each task and function. These standards are widely recognized and accepted as

best design practices and are therefore a consistent predictor of the type and direction of illumination for any given building type. In 2012, the IES published the Lighting Handbook, 10th Edition handbook. The IES also publishes a series of recommended practices that focus on particular design issues.

In conjunction with these recommendations the lighting industry is currently in flux, with both new technologies and design strategies oriented towards healthier environments. These are often expressed as Human Centric or Wellness approaches to lighting. They consider human biological, physiological and psychological responses to light.

In general, these could be grouped into two functions – those that initiate wakefulness, particularly in the morning, but also throughout the working day, and those which seek to avoid stimulation of wakefulness at the end of the day, supporting rest in general, and good sleep specifically.

In addition to these aspects, management of glare, contrast and visual comfort as well as reflection off working on a computer screen, etc., shall be managed to minimize eye strain. This will also manage visual performance for the visually impaired.

Social

Social values in the lighting shall also be considered. With the Student Success program, there is an incentive to ensure that spaces feel approachable and accessible to all socio-economic groups, and appropriate to their purpose, whether relaxed and informal for social spaces, alert and focused for teaching environments, and possibly commercial and office-like for areas in which it is intended that students become comfortable in professional environments. These approaches will be mapped out

in the early stages of the project to ensure that there is a common understanding of where each approach is appropriate.

Particular emphasis will be placed on social gathering areas, creating day and evening-appropriate environments for students to gather, collaborate and socialize.



Figure 1 Refurbishing the University of Chicago's Regenstein Library offered a chance to change the function of their basement floor – from stacks and reading spaces to collaboration rooms.

Opinion of probable cost

Prior to establishing a design, quantification and specification for the project, the opinion of probable cost is based on a diverse range of comparative projects, and their capital costs. The following elements shall be considered:

- Luminaire purchase cost. It is estimated that the interior lighting, amortized across all conditioned spaces shall be between \$10 and \$15/sqft, considering supply cost to the project but not any markups generated by the contractor.
- Luminaire purchase cost for exterior spaces has not been estimated, nor has facade lighting, pending development of the architectural project. A holding budget of \$85,000 is proposed.
- Control shall be estimated at \$4/sqft across all student and faculty spaces. Additional controls may be required for lecture hall and performance spaces but may be included within the Audio Visual budget for these spaces.
- Installation has not been estimated.



Figure 2 - A design was developed that provides task and indirect lighting for each collaboration space – bright, alert workspaces. And on a tight budget too! Simple lamp technologies in very simple detailing

Conclusion

With the confluence of the assessments and solutions described above, the lighting at the new Gordon Ford College of Business at WKU shall be developed at moderate capital and operating budgets, but with high performance levels. It shall promote student performance, academic retention, and community cohesion.

END OF LIGHTING DESIGN NARRATIVE

IT INFRASTRUCTURE SYSTEMS NARRATIVE

General

This concept narrative describes IT infrastructure work for the proposed ~110,000 square foot new College of Business. This narrative is based on the following standards:

BICSI

ANSI/TIA-568

Western Kentucky University IT Standards and Specifications

Seismic Design Considerations

The facility is anticipated to be Seismic Design Category C, but this has yet to be confirmed with the local Geotech report.

Scope

This narrative document summarizes the design concepts the Communications system of Division 27 0000 and is the basis to support discussion, further design, and in preliminary cost estimating as such does not list every piece of equipment required.

The low voltage structured cabling and pathways systems will be designed to the Owner's and BICSI industry standards specifying cable type, installation practices, labeling standards, pathway, and

fittings, to support current network needs as well as support for future systems.

Communication systems Low Voltage Cabling

Design will provide specification for cable type and performance requirements, jacket color and type. Specifications shall provide parameters regarding cable length restrictions as well installation requirements.

Cable tray will be specified to carry cabling in main pathways and will allow connections from conduit and wireways to reach into the workstation areas to support outlets and equipment such as Wireless Access Points and other system devices such as but not limited to Security Devices.

Work outlet locations, layout and termination will follow standards and Owner requirements for intended use. Labeling convention will be specified including face plate and jack requirements including color and type.

Communication Closets

Design will provide space requirements for each DATA closet based on Owner Standards and equipment requirements. Closet equipment will be placed and sized to meet the need and shall include elevations showing quantities, locations and equipment space required. Equipment shown in elevations will include cable management and termination panels as well space for active equipment based on provided requirements.

Rack Power distribution shall be included in drawings and specifications. Grounding systems shall be specified and shown in relation to each closet and the entire facility and will be coordinated with Division 26 0000.

Pathways in and out of the Communications Closet will be laid out to ensure proper spacing and clearances are maintained.

As part of the Rack Design and Layout overhead ladder rack with cable pathways to each rack to provide and maintain proper cable bend radius will be included.

Building Entrance and Demark

The Demark and Entrance location will be specified to provide splice and termination space and equipment for cabling providing services from external providers and patch facilities to interior network equipment. This will also include all grounding and protective equipment against voltage spikes.

Backbone Cabling

Backbone cabling will be specified to support the overall network from closet to closet and offer capacity for future growth and redundancy.

Testing

Specifications for testing would include requirements for testing and certification of backbone and horizontal cabling. Requirements would include not only performance of the media, but the tools required to perform the testing and requirements for documentation. Specifications would be based on Owner's as well as BICSI, and ANSI/TIA/EIA standards.

END OF IT INFRASTRUCTURE SYSTEMS NARRATIVE

ELECTRONIC SAFETY AND SECURITY SYSTEMS NARRATIVE

General

This concept narrative describes Electronic Safety and Security Systems work for the proposed ~110,000 square foot new College of Business. This narrative is based on the following standards:

- BICSI

- Western Kentucky University ESS Standards and Specifications

- NFPA 70 National Electrical Code

- NFPA 101 Life Safety Code

- NFPA 72 National Fire Alarm and Signaling Code

Seismic Design Considerations

The facility is anticipated to be Seismic Design Category C, but this has yet to be confirmed with the local Geotech report.

Scope

This narrative document summarizes the design concepts the Electronic Safety and Security Division 28 0000 and is the basis to support discussion, further design, and in preliminary cost estimating as such does not list every piece of equipment required. ESS includes two sections of Division 28 0000, Security Management System (SMS), Access Control, and Video Management System (VMS), Camera System. These systems will be designed to the Owner's and BICSI industry standards specifying system components, installation practices, cabling, and device standards, to support the anticipated facility needs and support expansion for the future.

Security Management System

The design will provide specifications for system function and performance requirements, and components. The goal of the SMS will be a keyless facility, using traditional keys only at specific limited locations. Specifications shall provide parameters regarding components such as card readers, door controllers, power supplies, as well installation requirements.

Layout of devices as well integration to door hardware and coordination with door function are part of the overall design and will be specified in the drawings and specifications. Security Devices will be specified by owner requirements and performance standards.

Panic alarms will be included in the design and shown on floor plans as well as coordinated with the Owner to ensure the proper function for each location.

Integration of Access Control function with other building systems will be coordinated with Owner, Examples being room scheduling and emergency lock down functions.

ESS design coordination with other Divisions will ensure the full function of each door opening. The SMS will be integrated into the existing Campus SMS system and coordinated with the Owners Security Team.

Video Management System

The design will provide requirements for the Video Management System (VMS) to include cameras and associated equipment to add to the existing campus system. Each Camera will be designed to provide the required view coordinated with Owner. Simulated camera views will be shown on floor plans to ensure that the specified view is conveyed to the installing team. Views will be coordinated and confirmed at the time of installation. Design will include specifications for each camera type required for the proper coverages both exterior and interior to the facility. Design specifications will include cabling standards and requirements to ensure cabling meets the Owners standards as well as follows BICIS industry standards.

Camera locations will be shown on floor plans and include elevations for mounting heights and methods required for each location type.

Testing

Specifications for testing would include requirements for testing and certification of each system. Requirements are based not only performance but also installation and full function as designed. Testing and documentation shall be completed before systems will be certified and accepted.

END OF ELECTRONIC SAFETY AND SECURITY SYSTEMS NARRATIVE

AUDIO VIDEO SYSTEMS NARRATIVE

The intent of this report is to summarize the Audio and Video (AV) systems proposed at a conceptual level for the new building at Western Kentucky University’s Gordon Ford College of Business. The AV systems outlined here are based on Threshold’s understanding of the needs expressed by users and concept design documentation available to-date.

Program Assumptions

- Future conversations about the AV functionality for all spaces with AV scope are needed with users from the university to confirm the approach documented below and compile a more detailed AV Systems Functional description that will be the basis for the systems’ design and documentation during later design phases. .
- Users of the various classroom and conference room spaces need an intuitive, easy-to-use interface when operating the AV systems.
- Threshold will specify AV equipment and systems, WKU internal AV team will procure and install systems.

Vocabulary

In order to describe AV functionality in a concise way, Threshold utilizes the following terms. Each relates to a specific function that the AV systems must support based on the anticipated program for each space. Functions are not necessarily mutually exclusive, nor do they relate directly to any specific piece or pieces of equipment.

AV FUNCTION	DESCRIPTION
Audio/Video Playback	Playback of pre-recorded audio/video material
Presentation Sound Reinforcement	Amplification of presenter or performer to reach larger audiences
Performance Sound Reinforcement	High-quality, high-impact amplification of multiple vocal and instrumental sources.
Audio/Video Feed Transmission	Distribution of live audio/video from performance venues to spaces not directly connected to the performance area.
Audio/Video Feed Reception	Hearing live audio and viewing live video transmitted from within performance spaces.
Two-way Communication	Communication system for technical staff (Production Intercom).
Assistive Listening	Direct broadcast of audio material to belt packs or hearing aids; required by ADA when Sound Reinforcement/Audio Playback are involved
Image Magnification	Large-scale display of live camera feed for larger spaces
Teleconferencing	Audio-only conferencing with remote participants
Video Conferencing	Video & Audio conference with remote participants

AV FUNCTION	DESCRIPTION
Audio/Video Capture	Recording of audio and/or video
Audio/Video Streaming	Broadcasting a live audio/video feed over the internet or local network
Performance Recording	Live or in-studio professional recording
Film Screening	Presenting films or movies with surround audio in a cinema-like environment
Active Learning	Distributed, group-learning pedagogy with flexible routing of AV content
Paging	Making announcements that are heard in another space
Room Scheduling	Centralized reservation system for shared rooms, displayed at room entry
Digital Signage	Wall-mounted displays that can be used to show promotional images or signage graphics.
Simultaneous Interpretation	Live translation of spoken word, broadcast for listening through headphones
Remote Monitoring/Control	Viewing and monitoring the status of AV equipment in another space

System Descriptions

Flat-Floor General Purpose Classroom – (QTY 4: Honors, Junior, Senior, Boardroom)

Classroom space used for lecture and group discussions for Honors, Juniors, and Seniors specifically. One will function as a boardroom.

The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Wall and/or ceiling mounted loudspeakers
 - Digital Signal Processing
 - Projection at presentation wall
 - Displays for confidence monitoring at podium
- Video Conferencing (provided for 2 rooms only)
 - Dedicated in-room computer for Zoom style software conferencing
 - Cameras and microphones in the room provide the AV feed to remote participants
- Audio/Video Streaming
- Active Learning
 - Distributed displays on walls or carts for students to use to share local group content
- Room Scheduling
 - Small screen outside of classroom entry to inform students and faculty of classroom use schedule.

- Remote Monitoring/Control

Flat-Floor General Purpose Classroom (QTY 2: at 1,500SF; QTY 6: at 1,100SF)

Classroom space used for lecture and group discussions.

The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Wall and/or ceiling mounted loudspeakers
 - Amplification
 - Digital Signal Processing
 - Projection at presentation wall
 - Displays for confidence monitoring at podium
- Presentation Sound Reinforcement
 - Podium goose neck microphone
- Assistive Listening
- Audio/Video Streaming
- Active Learning
 - Distributed displays on walls or carts for students to use to share local group content
- Room Scheduling
 - Small screen outside of classroom entry to inform students and faculty of classroom use schedule.

- Remote Monitoring/Control

Sales Classroom with 3 dedicated breakout spaces (QTY 2)

Classroom space used for lecture and group discussions, role play activity occurs in break out rooms, which will be streamed to classroom.

The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Wall and/or ceiling mounted loudspeakers
 - Amplification
 - Digital Signal Processing
 - Projection at presentation wall
 - Displays for confidence monitoring at podium
- Presentation Sound Reinforcement
 - Podium goose neck microphone
- Assistive Listening
- Audio/Video Streaming
- Active Learning
 - Distributed displays on walls or carts in breakout spaces for students to use to share local group content
- Room Scheduling
 - Small screen outside of classroom entry to inform students and faculty of classroom use schedule.
- Remote Monitoring/Control

Tiered Classroom (QTY 2)

Classroom space used for lecture and group discussions, up to 80 students in each.

The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Wall and/or ceiling mounted loudspeakers
 - Amplification
 - Digital Signal Processing
 - Projection at presentation wall
 - Displays for confidence monitoring at podium and in room
- Presentation Sound Reinforcement
 - Wireless Microphones – Body pack and lavalier clip-on microphone
 - Podium goose neck microphone
- Assistive Listening
- Audio/Video Streaming
- Room Scheduling
 - Small screen outside of classroom entry to inform students and faculty of classroom use schedule.
- Remote Monitoring/Control

Tiered Auditorium (QTY 2)

Classroom space that can be divided in two (2) used for visiting lecturer and guest speakers with 300 seat capacity

The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Wall and/or ceiling mounted loudspeakers
 - Amplification
 - Digital Signal Processing
 - Projection at presentation wall
 - Displays for confidence monitoring at podium and in room
 - Content is separated and dedicated between rooms when the partition in place and shared between the larger space when open
- Presentation Sound Reinforcement
 - Wireless Microphones – Body pack and lavalier clip-on microphone
 - Podium goose neck microphone
 - Reinforcement is separated and dedicated between rooms when the partition in place and shared between the larger space when open
- Assistive Listening
- Audio/Video Streaming
- Room Scheduling

- Small screen outside of classroom entry to inform students and faculty of classroom use schedule.

- Remote Monitoring/Control

Computer Lab/Smart Lab/Trading Lab

Lab space used for lecture, group discussions, and hands-on experimentation

The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Wall and/or ceiling mounted loudspeakers
 - Amplification
 - Digital Signal Processing
 - Projection at a presentation wall
 - Displays for confidence monitoring at podium
- Presentation Sound Reinforcement
 - Podium goose neck microphone
- Assistive Listening
- Audio/Video Streaming
- Active Learning
 - Distributed displays on walls or carts for students to use to share local group content
 - Distributed workstations with computers and other instrumentation (provided by others)
- Room Scheduling

- Small screen outside of classroom entry to inform students and faculty of classroom use schedule.

- Remote Monitoring/Control

AR/VR/Simulation Lab/Zoom Room for MBA

Lab space used for lecture, group discussions, and hands-on experimentation

The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Wall and/or ceiling mounted loudspeakers
 - Amplification
 - Digital Signal Processing
 - Projection at a presentation wall
 - Displays for confidence monitoring at podium
 - Distributed computer AR/VR headsets
- Presentation Sound Reinforcement
 - Wireless Microphones – Body pack and lavalier clip-on microphone
 - Podium goose neck microphone
- Assistive Listening
- Video Conferencing
 - Dedicated in-room computer for Zoom style software conferencing
 - Cameras and microphones in the room provide the AV feed to remote participants

- Audio/Video Streaming
- Active Learning
 - Distributed displays on walls or carts for students to use to share local group content
 - Distributed workstations with computers and other instrumentation (provided by others)
- Room Scheduling
 - Small screen outside of classroom entry to inform students and faculty of classroom use schedule.

Conference room – small

Meeting space used for in-person and remote gatherings and group discussions

The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Wall and/or ceiling mounted loudspeakers
 - Amplification
 - Digital Signal Processing
 - Wall Mounted Display for local content display
- Room Scheduling
 - Small screen outside of classroom entry to inform students and faculty of conference room use schedule.

Conference room – medium

Meeting space used for in-person and remote gatherings and group discussions

The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Wall and/or ceiling mounted loudspeakers
 - Amplification
 - Digital Signal Processing
 - Wall Mounted Display for local content display
- Room Scheduling
 - Small screen outside of classroom entry to inform students and faculty of conference room use schedule.

Faculty & staff lounge

A break room for faculty used for in-person group discussions

The following AV functions and systems are expected to support these facilities:

- Digital Signage
 - Wall Mounted display and signage player for content playback

Student/Faculty collaboration

Open meeting space used for in-person group discussions between students and faculty

The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Display mounted loudspeakers
 - Wall Mounted Display for local content display

Dean's Conference Room

Meeting space used for in-person and remote gatherings and group discussions determined by office of the Dean.

The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Wall and/or ceiling mounted loudspeakers
 - Amplification
 - Digital Signal Processing
 - Wall Mounted Display for local content display
- Video Conferencing
 - Dedicated in-room computer for Zoom style software conferencing
 - A Camera and microphone in the room provide the AV feed to remote participants
- Room Scheduling
 - Small screen outside of classroom entry to inform students and faculty of conference room use schedule.

Huddle Rooms / Collaboration Spaces

Small meeting space, booked by students and used for in-person and remote gatherings and group discussions

The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Wall and/or ceiling mounted loudspeakers
 - Amplification
 - Digital Signal Processing
 - Wall Mounted Display for local content display
- Room Scheduling
 - Small screen outside of classroom entry to inform students and faculty of conference room use schedule.

Tutoring Center

Meeting space used for in-person group discussions between students and faculty

The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Display mounted loudspeakers
 - Wall Mounted Display for local content display

Services Hub

Meeting space used for in-person group discussions between students and faculty

The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Display mounted loudspeakers
 - Wall Mounted Display for local content display

Mock Interview Room

Practice space used for interactive scenario simulation

The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Wall and/or ceiling mounted loudspeakers
 - Amplification
 - Digital Signal Processing
- Two-way communication
 - Two-way audio talkback is available for direction and instruction during a mock interview

One Button Room

Space used for student/teacher presentation recording for practice or distribution.

The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Projection at a presentation wall
 - Displays for confidence monitoring at AV Rack
- Audio/Video Streaming
- Audio/Video Capture
 - Route a feed of computer content, cameras, and microphones to a lecture capture device for recording
- Room Scheduling
 - a. Small screen outside of classroom entry to inform students and faculty of classroom use schedule.
- Remote Monitoring/Control

Coffee Shop seating area

Food service area with a small seating area

The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Wall or ceiling mounted loudspeakers for background music
 - Wall Mounted Display or videowall for cable TV feed or
- Digital Signage
 - Wall mounted display or videowall for cable TV feed
 - Digital menu board

Informal Lounge (proximity to student services)

Open meeting space used for in-person group discussions
The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Display mounted loudspeakers
 - Wall Mounted Display for local content display

Lobby/Pre-function

Gathering space for people meeting in the auditorium
The following AV functions and systems are expected to support these facilities:

- Audio/Video Playback
 - Display mounted loudspeakers
 - Wall Mounted Display for local content display
- Audio/Video Feed Reception
 - Cameras and microphone feed from the Auditorium are routed to displays and loudspeakers in the lobby.

Central AV Equipment Rack Rooms (Rooms needed)

- AV Equipment Rack location
 - A central location for headend processing and amplification equipment is needed (Min 9ft x 15ft).

AV Budget Estimate

Current 2022 market conditions are volatile and are related to ongoing challenges to the electronics supply chain and manufacturing labor shortages. Long product lead times, availability of AV equipment and continued price increase adjustments are variables that must be considered in evaluating this budget. This estimate captures anticipated costs for procurement of AV systems as we currently understand them. Given these circumstances, Threshold will continue to evaluate market conditions as the project progresses and provide additional adjustments to estimated costs beyond project milestone deliverables to capture substantial shifts if they occur.

The table below describes Threshold's estimate of the budget that should be held for each space. Project-wide cost estimates should carry these numbers through the design phases, with costs for other trades (electrical power and AV raceway, mechanical systems, et al.) estimated by others. Notable exclusions and inclusions are listed below:

- Equipment and systems are specified by Threshold, with WKU's internal AV team procuring and installing systems. These costs are estimates for equipment and systems only.
- While we understand that procurement and installation is to occur by the client, we don't have data to account for budget variances that occur through this procurement method. The estimates included here are for fully integrated, installed, tested, and commissioned systems provided by a professional AV Integrator. The figures are ROM (rough order of magnitude) numbers and do not represent precision greater than $\pm 20\%$.
- The estimates do not include winches, rigging, technical power and cable raceways/conduit/junction boxes, taxes, bonding, mark-ups, contingencies, inflation, or allowance for unusual contractual requirements included in the specification General Conditions. They also do not include other low-voltage systems that need to be accounted for by others including, but not necessarily limited to IT, telecom, and security systems.
- Custom furniture/millwork is not included.
- The estimates do not include architectural modifications required to accommodate AV equipment integration.
- Equipment prices are based on information available as of 2022.

SPACE NAME	AV BUDGET ESTIMATE RANGE (PER ROOM)
Flat-Floor general-purpose classroom - honors classes/Junior/senior/boardroom (QTY 4)	\$100,000
Flat-Floor general-purpose classroom (QTY 8)	\$180,000
Sales classroom with 3 dedicated breakout spaces (QTY 2)	\$220,000
Tiered Classroom (QTY 2)	\$220,000
Tiered Auditorium (QTY 2)	\$240,000
Computer Lab/Smart Lab/Trading Lab	\$240,000
AR/VR/Simulation Lab/Zoom Room for MBA	\$280,000
Conference room – small	\$25,000
Conference room – medium	\$30,000
Faculty & staff lounge	\$15,000
Student/Faculty collaboration	\$15,000
Dean's Conference Room	\$75,000
Huddle Rooms / Collaboration Spaces	\$15,000
Tutoring Center	\$75,000
Services Hub	\$75,000
Mock Interview Room	\$80,000
One Button Room	\$50,000
Coffee Shop seating area	\$50,000
Informal Lounge (proximity to student services)	\$15,000
Lobby/Pre-function	\$75,000

SPACE NAME	AV BUDGET ESTIMATE RANGE (PER ROOM)
Central AV Equipment Rack Rooms	\$40,000
Contingency for AV Market Volatility and Labor Shortages	\$904,500

Electrical Infrastructure Requirements for AV Systems

These are general guidelines intended to assist the electrical engineer with the design and documentation of the electrical infrastructure requirements associated with the audio & video systems. A stable, isolated, low noise power supply is a key element in the success of the final audio & video system performance. The guidelines are organized into (3) three sections:

- Clean Technical Power (CTP)
- Isolated Technical Ground (ITG)
- Audio System Raceway (ASR)

Recommended Responsibility

The following matrix delineates Threshold’s recommended responsibility for various elements of the AV systems infrastructure, presented here for review and coordination. “Furnished By” means that the noted party will be responsible for procuring the necessary components and parts, which will be transferred (if necessary) to the party noted under the “Installed By” heading.

Note: “&” indicates that AV contractor must provide installation criteria and oversight during execution.

SCOPE ITEM	FURNISHED BY			INSTALLED BY		
	G.C.	E.C.	AV	G.C.	E.C.	AV
Main Power Service Panel Boards and Circuit Breakers		X			X	
Main Power Service Conduit and Conductors		X			X	
Main Power Service Terminations					X	
Clean Technical Power (CTP) Transformers		X			X	
Transformer Conduit and Conductors		X			X	
Transformer Terminations					X	
CTP Isolated Ground Conduit and Conductors		X			X	
Isolated Ground Terminations					&	
CTP Distribution Panel Boards and Circuit Breakers		X			X	
Distribution Panel Board Conduit and Conductors		X			X	

SCOPE ITEM	FURNISHED BY			INSTALLED BY		
	G.C.	E.C.	AV	G.C.	E.C.	AV
Distribution Panel Board Terminations					X	
CTP Standard Load Centers and Circuit Breakers		X			X	
Standard Load Center Conduit and Conductors		X			X	
Standard Load Center Terminations					X	
CTP Custom Sequencing Panel Boards and Circuit Breakers		X			X	
Custom Sequencing Panel Board Conduit and Conductors		X			X	
Custom Sequencing Panel Board Terminations					&	
CTP Company Switches		X			X	
Company Switch Conduit and Conductors		X			X	
Company Switch Terminations					X	
CTP Outlet Devices for Branch Circuits delivered to AV Systems Equipment Racks			X			X
Outlet Device Back Boxes		X			X	
Outlet Device Wall Plates		X			X	
Branch Circuit Conduit and Conductors		X			X	
Branch Circuit Termination					X	
AV Systems Equipment Racks and Devices			X			X
Metallic Conduit between AV Devices		X			&	
Conduit Insulation Bushings between Metallic Conduit and AV Equipment Racks		X			&	
AV Equipment Rack Cabling			X			X
AV Equipment Rack Terminations			X			X
AV Device Back Boxes and Floor Boxes		X			&	
AV Device Metallic Conduit		X			&	
AV Device Cabling			X			X
AV Device Termination			X			X
Standard Floor Box Lids		X			X	

SCOPE ITEM	FURNISHED BY			INSTALLED BY		
	G.C.	E.C.	AV	G.C.	E.C.	AV
Custom Floor Box Lids	X			X		
Empty Conduit (For Temporary Use)		X			X	
AV Systems Raceway		X			&	
AV Systems Cable Tray		X			X	
AV Systems Cable Sleeves		X			X	
AV Systems Pull Boxes		X			X	
AV Conduit Riser Diagram		X				

CLEAN TECHNICAL POWER

The following items outline the general requirements associated with delivering a clean and stable power source for the audio & video systems (See Figure 1):

- The Audio & Video Systems require its own K-rated Isolation Transformer. The transformer must be shielded for common mode noise attenuation, attenuate triplen harmonic currents from the line, have oversized neutrals, and have a minimum of a K13 rating.
- All Audio & Video System CTP devices (outlets, circuits, panelboards, company switches, etc.) must be fed from the Audio & Video System’s CTP Isolation Transformer.
- Only Audio & Video System CTP devices may be fed from the CTP system (no exceptions).
- Only those circuits and outlets identified as Audio & Video System CTP may be connected to the CTP panelboard.
- All Audio & Video System CTP outlets require a separate 20-amp circuit breaker and cannot be combined with additional CTP outlets.
- Each Audio & Video System CTP circuit requires its own neutral conductor home run to the CTP panel board.
- Each Audio & Video System CTP circuit requires its own isolated ground conductor home run to the CTP panel board.
- Wire sizes of branch circuit conductors shall be 10 AWG for hot and neutral conductors and 8 AWG for the isolated ground (equipment ground is to be sized according to code).
- Each CTP receptacle requires an orange-colored isolated ground outlet.

- All conductors terminating at duplex receptacles require crimped spade lugs. Spade lugs must be secured under the mounting screws. No push-in connections are allowed.
- All Audio & Video System CTP circuits must run in conduit separate from all non-CTP circuits.

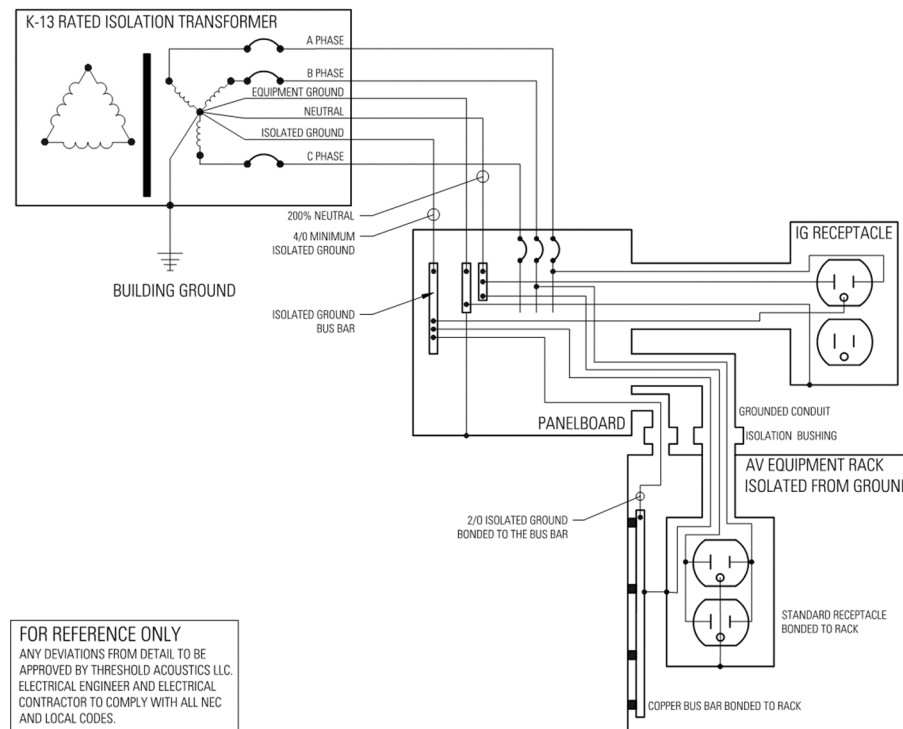


Figure 3: Clean Technical Power isolated ground typical wiring and distribution

Devices

The following tables list the major Audio & Video CTP devices and their requirements:

DEVICE	LOCATION	SUPPLY SIZE/ CONFIGURATION	NOTES
Isolation Transformer	Main Electrical Room	120/208 volt 3-phase, 5 wire with double neutrals, equipment ground and ITG.	Acceptable Manufacturers: Controlled Power Company Series Ultra-K, Square D – NLP series
Distribution Panel	Main Electrical Room	120/208 volt 3-phase, 5 wire with double neutrals, equipment ground and ITG.	Acceptable Manufacturers: Square D – ILINE series
Panelboards	Equipment Rack Room	120/208 volt 3-phase, 5 wire with double neutrals, equipment ground and ITG.	Acceptable Manufacturer: Square D – NOQD series

Grounding

The Audio & Video systems require an Isolated Technical Ground System (ITG). This ITG is in addition to the building’s other grounding systems (building, safety, or equipment). The term “Equipment Ground” is used in this document and refers to the building’s safety ground system. The Equipment Ground is installed as it would be in any other non-audio/video system with the exception that it does not connect to any “Audio/Video” equipment, equipment racks, outlets, or terminals. The ITG is entirely separate from the Equipment Ground and provides a totally isolated ground path from all audio & video clean power devices and the ITG source. The ITG source is typically the Isolation Transformer where the master technical ground connects to the neutral bus, equipment bonding jumper and ground electrode system. The ITG must remain isolated from building ground except at this point. The purpose of ITG system is to provide a stable reference for audio & video circuits, minimizing noise into the audio & video systems. The following items outline the general requirements associated with delivering an isolated technical ground for the audio & video systems (see Figure 1):

- All Audio & Video System equipment racks must be electrically isolated from the Building’s Equipment Ground.
- Each Audio & Video System equipment rack requires an isolated #2/0 AWG grounding conductor to the Audio & Video Systems CTP panelboard.

- Each Audio & Video System CTP panelboard must have its own ITG junction box.
- Each Audio & Video System CTP panelboard requires a minimum #4/0 AWG from its ITG buss to the distribution panel/isolation transformer.
- All Audio & Video System CTP conduits shall be bonded to the distribution panel board, company switches, panelboards, receptacle boxes and outlet boxes as part of the equipment grounding system.
- The Audio & Video System CTP conduit shall not be connected to the ITG system.
- Each CTP branch circuit requires its own #8 AWG isolated ground conductor home run to the Audio & Video Systems CTP panel board (the equipment ground is to be sized according to code).
- The Electrical Engineer must review these recommended guidelines and the typical wiring shown in Figure 1 for compliance with all code and safety requirements.

AUDIO & VIDEO RACEWAY SYSTEM

All the Audio & Video System cabling must be housed in a continuously grounded ferrous metallic Audio & Video System Raceway. PVC conduit is not acceptable. The raceway system serving the Audio & Video Systems must be designed with regard to Group Divisions, Routing & Separation, and Sizing.

Group Divisions

The audio & video systems have a wide range of signal levels and require that cable of different signal levels be installed in different conduits. The following table defines and describes these groups.

GROUP	DESCRIPTION	LEVEL	BANDWIDTH
A	Microphone level audio circuits	below -30 dBu	20 Hz to 20 kHz
B	Line level audio circuits, Communication Circuits (Intercom)	-30 dBu to +24 dBu	20 Hz to 20 kHz
C	Speaker level audio circuits, including low impedance types and high impedance types (70 volt).	Greater than +24 dBu	20 Hz to 20 kHz
D	Control Circuits Data Circuits	0-28 Volt into <50kOhms 2 Volt peak-to-peak into 100 Ohms	-- 0Hz to 100 MHz
E	Video	1 Volt peak-to-peak into 75 Ohms	0 Hz to 10 MHz
F	Fiber Optic Circuits	50/125 Micrometer OM3/OM4	500-3500 MHz-km @ 850 nm

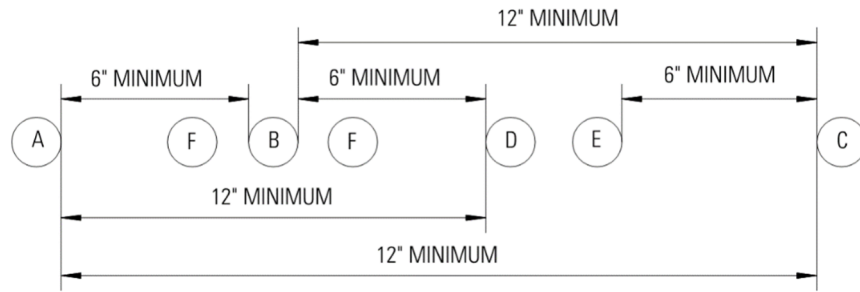


Figure 4: Generic conduit separation example

Routing & Separation

Audio & Video system raceways should not be indiscriminately routed through a facility. Even when enclosed in continuously grounded ferrous metallic conduit system, audio & video circuits are still susceptible to electrical noise and require specific conduit separations from other groupings and services to minimize these interferences. The following table defines the required minimum separations between the Group Divisions utilizing EMT conduit.

GROUP	A	B	C	D	E	F
A	Adjacent	6 inches	12 inches	12 inches	12 inches	Adjacent
B	--	Adjacent	12 inches	6 inches	6 inches	Adjacent

GROUP	A	B	C	D	E	F
C	--	--	Adjacent	6 inches	6 inches	Adjacent
D	--	--	--	Adjacent	Adjacent	Adjacent
E	--	--	--	Adjacent	Adjacent	Adjacent
F	--	--	--	--	--	Adjacent
Electronic Dimmer Controlled Lighting, Switched Power Sources & High Current Sources	36 inches	12 inches	6 inches	12 inches	12 inches	Adjacent
Convenience Outlet Power Service	12 inches	6 inches	Adjacent	6 inches	6 inches	Adjacent
All Other Power Services	24 inches	12 inches	6 inches	12 inches	12 inches	Adjacent

NOTE:

Unusually heavy current sources (100 Amps or greater) or long parallel runs (greater than 10 feet) with the power services may dictate greater separations to avoid interference with the audio system.

Ninety-degree crossings in close proximity are acceptable between groups A through F.

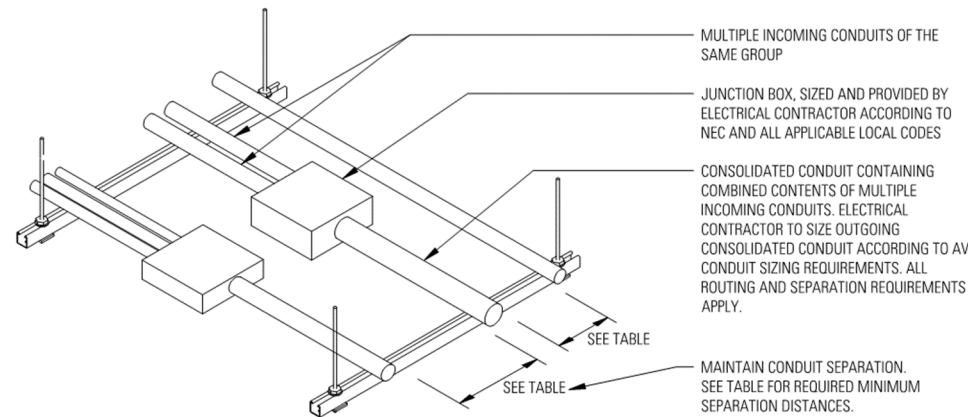


Figure 5: Example of consolidation of multiple conduits of the same group

Conduit Sizing

The sizing of the conduit will be based on the NEC standard of 40% fill, which applies to three or more non-lead covered cable, installed in the same conduit. The following list outlines the Audio & Video Raceway System's general requirements:

- (ii) The minimum conduit size allowed is $\frac{3}{4}$ inch
- (iii) Pull boxes must be dedicated to a given conduit/cable group
- (iv) There can be no more than four 90-degree bends in a given run between pull boxes.

The following steps are used to determine the conduit size for a particular run of audio cable:

Square the O.D. of each cable and total the results (refer to the cable manufacturer specifications).

- (v) Multiple the total by the factor listed in the table below.
- (vi) Find the permissible area of the conduit type used that is equal to or greater than the total area calculated in steps 1 & 2. (Reference NEC 1999 Chapter 9 for permissible area of various conduit types and sizes).

NO. OF CONDUCTORS	% OF CROSS SECTION OF CONDUIT ALLOWED FOR CONDUCTORS	FACTOR
1	53	.5927
2	31	1.0134
3 or more	40	.7854

NOTE:

For conduit runs of 50 to 100 feet the installed number should be reduced by 15% or the next larger size of conduit should be used.
If more than 180-degrees of bends and offsets are to be used in a conduit run or if the run exceeds 100 feet a pull box should be inserted.

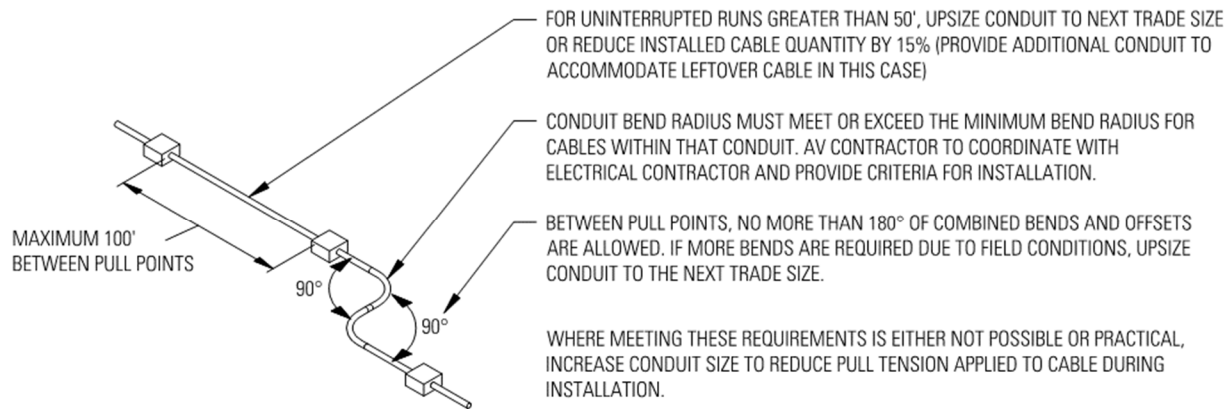


Figure 6: AV System Raceway must include adequate pull points and limit total bends between them to accommodate installation of cable.

HVAC Infrastructure Requirements for AV Systems

The Audio & Video System equipment is sensitive to high temperature and humidity, requires 24-hour environmental control and necessitates a separate air handling system or zone. The rooms containing audio & video equipment racks must be maintained at an ambient temperature between 50- and 80-degrees Fahrenheit, and a relative humidity not to exceed 60%.

Audio & Video Equipment Heat Loads

The following are the anticipated average heat loads for the AV equipment during typical use.

LOAD TYPE	TOTAL EST. BTU/HR
Projectors	6000 - 8000
AV Equipment Racks	15,000 – 25,000

Notes:

The projected heat loads do not include normal requirements for lighting or personnel.

These estimates will be revised as the design progresses.

Space Requirements

The Audio & Video Systems require various areas to accommodate the mounting, storage, operation, and maintenance of the equipment. The following outlines the anticipated areas and their square footage requirements.

Central AV Equipment Rack Room (Shared Rack Rooms are required for Classroom, and Conference Room Equipment)

The AV Equipment Rack Room contains all the large, power consuming, heat producing, noisy audio and video equipment. It needs to be located adjacent to the rooms it serves and requires elevator access. This room requires approximately 135 square feet and should have a ceiling height of 10 feet.

AV Storage Rooms

The AV Storage Rooms are spaces that are used to house all the portable AV equipment including microphones, cables, stands, portable loudspeakers, portable video projectors, and other portable AV equipment when not in use. The Storage room requires approximately 100 square feet of area. The room require a double door, block or plywood finished walls, and a 10-foot ceiling

END OF AV NARRATIVE

ACOUSTICAL DESIGN NARRATIVE

The following is a conceptual overview of Acoustics Design requirements for project program spaces. Use assumptions are noted to assist in future conversations with Western Kentucky University and to assist the design team as the project moves forward.

Classrooms

As the core teaching and learning spaces, speech intelligibility is essential to student comprehension and collaboration. Background noise in classrooms and other similar spaces must be at least 15 decibels quieter than the instructor's and students' voices to allow speech to be clearly heard. Materials in the room should be reflective and supportive to reduce vocal strain, while absorbing excessive reverberation that can degrade speech clarity. Sound isolation will heavily depend on AV system designs. Double stud partitions between classrooms will be necessary if the design tends towards back-to-back video displays with audio playback. The sound isolating construction can be more straightforward if displays are surface mounted and pendant loudspeakers are used. We will continue to evaluate sound isolation relative to the audio video needs.

The auditorium is the main acoustical priority for this project. Background noise should be quiet, though silence is neither the goal nor realistically achievable. The sound isolation enclosure should attenuate most noise from other building activities. The Auditorium will feature large extents of glazing at the west and potentially north walls. The building is located in a relatively quiet part of campus but will be in proximity to the belltower and sports stadium. We understand that complete sound isolation from these noise sources is not a priority, but the Auditorium as both the most sensitive space in the project and the closest to the bell tower necessitates enhanced construction at the roof and façade as described below.

Entry Zones

The lobby should be lively, but not excessively loud, to convey a sense of 'comfortable din' when crowded, immersing visitors in the social activity without the need to shout in conversation. A sound-absorptive ceiling will create an acoustically comfortable space during large occupancy events. Collaboration areas are located nearby to provide quieter zones for more focused activity.

The coffee bar will require careful attention to absorption to minimize disruption of shrieking milk steamers and lively conversation to learning and faculty areas during busiest hours of the day. Glazing, partition construction, and gasketed doors for the program spaces opening onto the public zones take this noise into account as well.

Connection Zones

Similar to the entry zones, these connection zones should be quiet enough so occupants can easily communicate with one another, but also loud enough so private conversations are not easily heard throughout the entire space. Sound absorption at the ceiling will control noise build-up from large student gatherings, but these spaces will often have only subdued activity, so it will be important that their background noise be at moderate levels to mask quiet conversations

Faculty Zones

Background noise in administration areas should be designed for typical closed and open office environments. Excluding the dean's office, our recommendations for partitions assume that loud speech can be heard with some effort, but conversation speech is only heard occasionally. Recommendations for the dean's office assume requirements for confidential speech privacy. Please let us know if greater levels of speech privacy are needed for specific departments.

Room-by-Room Acoustic Design Criteria

The following table summarizes the overall design approach and will be used as the basis for the development of detailed design strategies. Specific room-to-room adjacencies as floor plans are developed may require changes to these general recommendations during later phases.

Structural slabs throughout should have a minimum surface density of 75psf, thickness to be determined by decking profile. Concrete is assumed at the roof for mechanical rooftop equipment noise control and for bell tower noise at Auditorium.

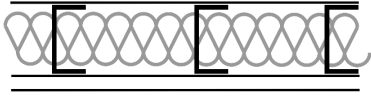
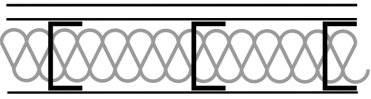
Carpet is assumed in most rooms, except for corridors, restrooms, and main floor entry zones. Where NRC and STC criteria are identified, corresponding products and assemblies can be located in the subsequent table.

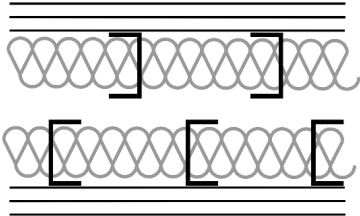
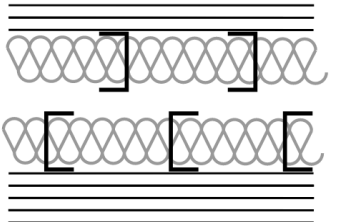
ROOM NAME	WALL FINISHES	CEILING FINISHES	WALL STC ¹	INTERIOR GLAZING STC	ADDITIONAL NOTES
Classrooms					
Smart Lab	--	NRC 0.75	STC 55	STC 38	Gasketed Doors
Learning Lab	--	NRC 0.75	STC 55	STC 38	Gasketed Doors
Flat Classroom	--	NRC 0.75	STC 50	STC 38	Gasketed Doors Modern Encore STC 56 Operable Walls
Classroom Tiered	NRC 0.80, 30%	NRC 0.75	STC 55	STC 38	Gasketed Doors Tiers built with CFMF, min. 2 layers of plywood, batt in floor cavity
Classrooms	--	NRC 0.75	STC 55	STC 38	Gasketed Doors Increase structural slab by 2" if classrooms are above Building Support
Sales Classroom	--	NRC 0.75	STC 55	STC 38	Gasketed Doors
Auditorium	NRC 0.80, 50%	NRC 0.70, 50%	STC 65	N/A, STC 44 at Exterior	Gasketed Doors Isolated 4" Concrete Slab on 2" Isolators on Structural Slab Skyfold STC 60 Operable Walls
Building Services					
Restrooms + Core	--	Gypsum Ceilings Okay	STC 45	--	--
Building Support + Loading	--	--	STC 65	--	Gasketed Doors Chillers in noise control enclosures

ROOM NAME	WALL FINISHES	CEILING FINISHES	WALL STC ¹	INTERIOR GLAZING STC	ADDITIONAL NOTES
Entry Zone					
Collab	NRC 0.80, 30%	NRC 0.75	STC 50	STC 41	Gasketed Doors
Lobby + Coffee	--	NRC 0.90	--	--	--
Pre-function	--	NRC 0.90	--	--	--
Connection Zones					
Student Services	--	NRC 0.90	STC 45	STC 38	Gasketed Doors
Centers	--	NRC 0.90	STC 45	STC 38	Gasketed Doors
Faculty Zone					
Dean Suite + Support	--	NRC 0.90	55 for Dean, 45 elsewhere	41 for Dean, 38 elsewhere	Gasketed Doors Transom assumed; no side lite
MBA	--	NRC 0.90	STC 45	STC 38	
Faculty	--	NRC 0.90	STC 45	STC 38	
Faculty Support	--	NRC 0.90	STC 45	STC 38	

1 – Classrooms can be STC 50 at corridor walls and at walls without AV systems.

2 – Gasketed doors assume a 1-3/4" solid wood or insulated-core hollow metal door. Gaskets assume an applied gasket on the frame and a fixed bottom seal that closes on a raised threshold. Door cores should be selected for STC 31 minimum.

ACOUSTICAL CRITERIA	PRODUCT REFERENCES
WALL FINISHES	
NRC 0.80	Soundsoak 85 by Armstrong World Industries Ecoustic 1" Felt Panel by Unika Vaev Rondolo Micro-Perf with 1" Fiberglass Backing by Decoustics
CEILING FINISHES	
NRC 0.70	Ultima Ceiling Tile by Armstrong AcoustiBuilt by Armstrong Rondolo Micro Perf Wood with no Acoustic Backer by Decoustics Nuvo Perforated Metal with Acoustic Backer (Kellogg Reference) by Nelson Architectural Metals Division
NRC 0.90	Optima Ceiling Tile by Armstrong Claro by Decoustics Rondolo Micro Perf Wood with Acoustic Backer by Decoustics
WALL STC	
STC 45	 <p>1-layer 5/8" gypsum board, batt in cavity, and 2 layers 5/8" gypsum board Alt: 6" grout-filled CMU</p>
STC 50	 <p>2-layers 5/8" gypsum board, batt in cavity, and 2 layers 5/8" gypsum board Alt: 6" grout-filled CMU</p>

ACOUSTICAL CRITERIA	PRODUCT REFERENCES
STC 55	 <p data-bbox="478 500 1402 610">2 layers 5/8" gypsum board, batt in cavity, 2" min air gap between stud tracks, batt in cavity, and 2 layers 5/8" gypsum board Alt: 6" grout-filled CMU with furred gypsum to receive AV devices</p>
STC 65	 <p data-bbox="478 865 1402 1000">2 layers 5/8" gypsum board, batt in cavity, 2" min air gap between stud tracks, batt in cavity, and 4 layers 5/8" gypsum board, resilient head and base (Wallmat by Kinetics) Alt: 8" grout-filled CMU, 2" min. air gap, batt in cavity, 2 layers of 5/8" gypsum board both sides.</p>
INTERIOR GLAZING STC	
STC 38	1/2" laminated glass with 0.06" acoustical interlayer
STC 41	1-1/16" overall, 1/4" glass, 1/2" airspace, 1/4" lam. glass with 0.06" acoustical interlayer
STC 44	1-5/8" overall, 3/4 lam. glass, 1/2" airspace, 1/4" lam. glass, both with 0.06" acoustical interlayer

Mechanical, Electrical, Plumbing, Fire Protection, and Low Voltage System Noise Control

The following guidelines summarize our preliminary MEPF recommendations for WKU GFCB. At this time, the recommendations are preliminary and will be updated as we receive additional information on the equipment that is included in the building and the sound power levels for the initial equipment selections.

Introduction & Design Criteria

We have developed recommendations for background noise levels in each programmed space. Criteria are specified in terms of the Room Criteria (RC) system as defined by ASHRAE and assume a neutral and non-tonal spectrum. Rooms with noise criteria of RC 30 or less are designated “Acoustically Sensitive Rooms” and carry special requirements for penetrations of ductwork, conduit, and piping.

Auditorium RC 25

Smart Lab RC 30

Learning Lab RC 30

Flat Classroom RC 30

Classroom Tiered RC 30

Classrooms RC 30

Sales Classroom RC 30

Collab RC 30

Dean Suite + Support RC 30

Student Services RC 35

Centers RC 35

MBA RC 35

Faculty RC 35

Faculty Support RC 35

Lobby + Coffee RC 40

Pre-Function RC 40

Mechanical Systems Noise & Vibration Control

Noise & Vibration Control Recommendations

This section provides a summary of the noise control strategies for mechanical systems based on our current understanding of the project. Recommendations will be further developed and refined as the architectural and mechanical design progresses. Detailed system-by-system calculations will be performed once acoustic performance data has been received for each piece of air distribution equipment. Please note the following, and advise when additional information is available:

- Selection of custom or semi-custom equipment at a higher price point often is less expensive than the aggressive attenuation measures, more complex vibration isolation approaches, and increased room enclosure requirements associated with less expensive standard equipment. Selections of main equipment should be made with this in mind.
- Recommendations for internal duct lining assume there are no restrictions on the use of glass fiber in the ductwork. Please advise if there are restrictions, as this will have significant impact on the noise control strategy for air

handling systems. Provide internal liner for the following ductwork:

- All ductwork serving Acoustically Sensitive Rooms (RC-30 or lower).
- Within 30' (10m) upstream and downstream of fans and air handling units -2" thick
- At least 10' (3m) downstream of VAV and Fan-Powered Boxes – 1" thick
- All transfer ducts, return air stub ducts, and shaft intakes. – 1" thick

- The following design strategies are recommended for Acoustically Sensitive Rooms:

- 5-foot-long sound attenuator at the supply and return for AHU's as well as all Fan Coils.
- For the Auditorium, balance air flow using static pressure regain to eliminate volume control dampers to the extent possible; where dampers are unavoidable, at least 6' (2m) upstream of diffusers.
- Locate terminal boxes outside the footprint of these spaces and provide sufficient duct path before entering the space to attenuate the noise they generate.

Mount all mechanical equipment on vibration isolation systems. Ductwork and piping within 30ft of the equipment to receive flex connections and spring isolation hangers.

In preparing preliminary duct layouts, use the following velocity guidelines to size ducts, while also considering the following:

- Size ducts assuming the system is operating at full capacity.
- Velocities should not change by a factor more than 2:1 along any main or branch.

VELOCITY GUIDELINES (FPM)					
NOISE CRITERIA	FACE/NECK OF GRILLE/DIFFUSER ¹	WITHIN 10' OF GRILLE/DIFFUSER	WITHIN 20' OF GRILLE/DIFFUSER	WITHIN 50' OF GRILLE/DIFFUSER	EXPOSED DUCTS IN ROOM ¹
RC 25 supply	350	550	700	1,400	800
RC 25 return	425	650	800	1,600	800
RC 30 supply	425	700	850	1,700	900
RC 30 return	500	800	900	1,800	900
RC 35 supply	500	800	1,000	2,000	1,200
RC 35 return	600	900	1,100	2,000	1,200
RC 40 supply	600	900	1,100	2,000	1,200
RC 40 return	700	1000	1,200	2,000	1,200

1 – Ducts exhibiting higher velocities will need to be enclosed in soffits, wrapped in lagging, or constructed of heavier gauge sheet metal than might otherwise be required.

Low Voltage (IT, Telecommunications, Controls and AV) System Noise & Vibration Control

- Pack all conduit penetrations through partitions of Acoustically Sensitive Rooms with mineral fiber insulation and seal with a non-hardening caulk in a manner consistent with fire ratings and other life safety considerations.
 - o Loose cable may not be pass through partitions – cable must be in a conduit sleeve.

Electrical System Noise & Vibration Control

Install electrical systems in a manner that minimizes transmission of objectionable vibration into the building structure. Required isolation will include, but is not limited to, the resilient mounting of transformers, dimmer racks, motor starters, remote LED drivers, variable frequency motor controllers and related conduit.

- Use flexible connections for all electrical connections to isolated equipment.
- For Acoustically Sensitive Rooms, configure electrical boxes on opposite sides of the same partition as follows:

- Separate boxes by min. 24" within acoustically sensitive partitions, and 16" everywhere else.
- Utilize backbox putty for all back-boxes and other devices recessed into acoustically sensitive partitions.
- Pack all conduit penetrations through partitions of Acoustically Sensitive Rooms with mineral fiber insulation and seal with a non-hardening caulk in a manner consistent with fire ratings and other life safety considerations.
- Loose cable may not be pass through partitions – cable should be in a conduit sleeve.

All transformers to receive vibration isolation mounts. Conduit within 30ft of the equipment to receive flex connections and spring isolation hangers.

Plumbing Systems Noise & Vibration Control

Acoustic considerations for plumbing systems are not extensive, but some care should be taken with respect to plumbing fixture location and control of fixture generated noise as follows:

- Locate routing for vent lines outside Acoustically Sensitive Rooms or within enclosed chases within those areas to prevent air-borne sound transfer through the open pipe.
- Do not route circulating water piping and rain leaders through Acoustically Sensitive Spaces. If such routing must occur, piping should be enclosed in a gypsum chase or insulated and wrapped with mass-loaded vinyl.
- Avoid PVC pipe for all pipes that pass through Acoustically Sensitive Rooms.

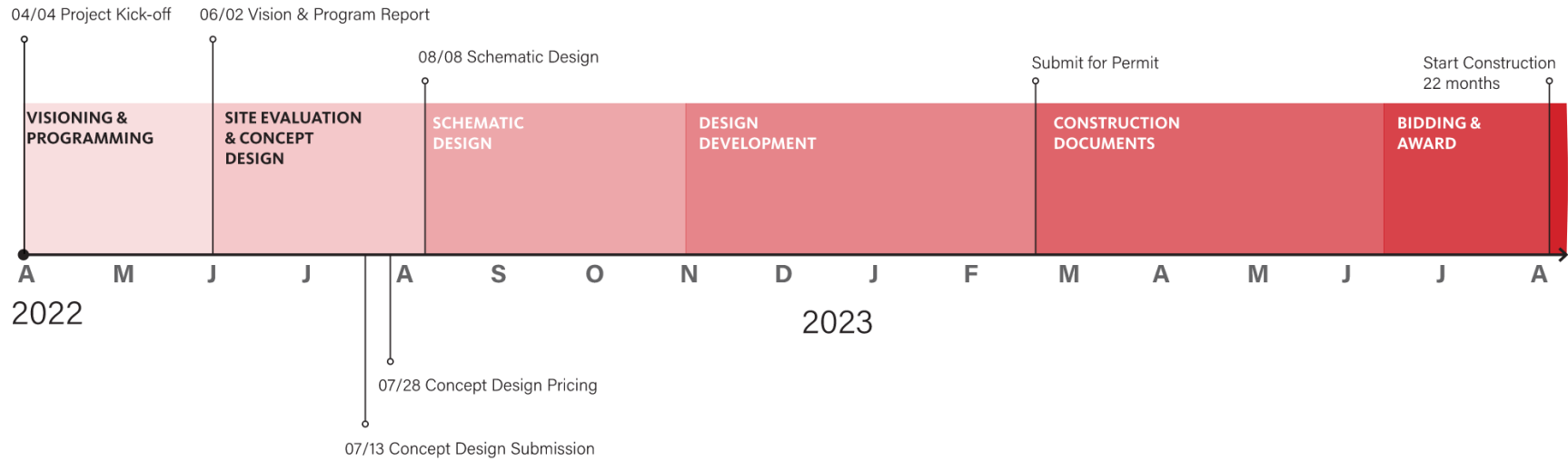
- Pack all pipe penetrations through partitions of Acoustically Sensitive Rooms with mineral fiber insulation and seal with a non-hardening caulk.

All pumps to receive vibration isolation mounts. Piping within 30ft of the equipment to receive flex connections and spring isolation hangers.

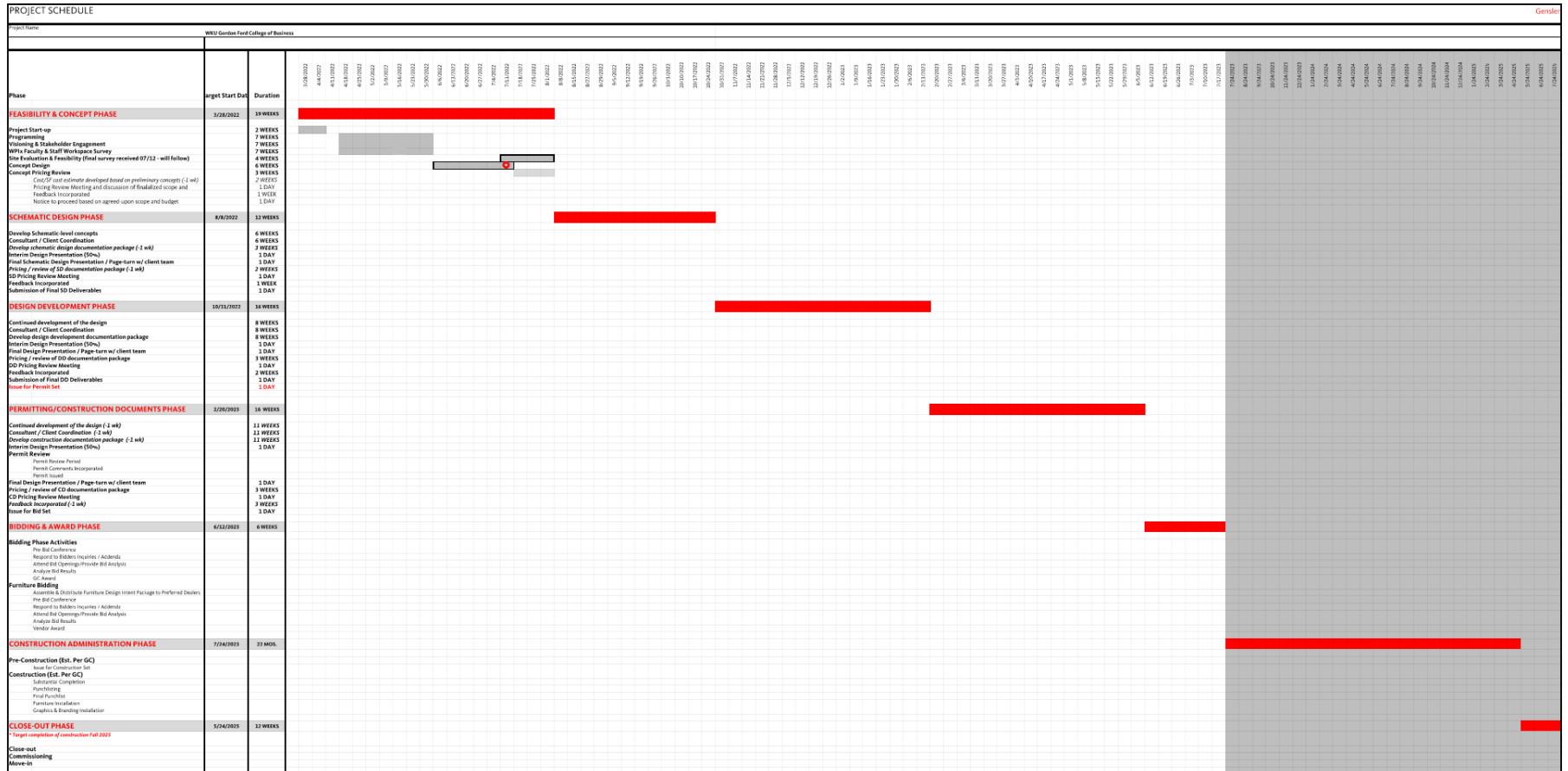
END OF ACOUSTICAL DESIGN NARRATIVE

END OF DESIGN NARRATIVE

DESIGN SCHEDULE OVERVIEW



PROPOSED PROJECT SCHEDULE



PROGRAM SUMMARY

WKU Gordon Ford College of Business						
Department	Description	Net Area SF	Seat Count	SF/Seat	Qty	Total NSF
Instructional (Proposed Schedule Model - 16 teaching spaces)						29,900
Classrooms						
	Flat general purpose classroom - honors classes/junior/senior	650	20	33	4	2,600
	Flat general purpose classroom	1100	35	31	6	6,600
	Flat general purpose classroom	1500	50	30	2	3,000
	Sales classroom w/ dedicated breakout spaces	1800	50	36	2	3,600
	Tiered Classroom	2500	80	31	2	5,000
	Tiered Auditorium (2 x 100+ seat)	6000	300	20	1	6,000
	Growth Classrooms					
Labs						
	Computer Lab/Smart Lab/Trading Lab	1600	45	36	1	1,600
	AR/VR/Simulation Lab/Zoom Room for MBA	1500	30	50	1	1,500
Academic Departments (95 Faculty members)						11,936
Accounting						1,506
	Department Chair	110	1	110	1	110
	Faculty Office	95	11	1,045		1,045
	Lecturer			0		0
	Faculty & Lecturer Growth	95	1	95		95
	Staff/Administrative Assistant	64	2	128		128
	Student Assistant	64	2	128		128
	Staff & Assistant Growth	64	0	0		0
Analytics & Information Systems						2,171
	Department Chair	110	1	110		110
	Faculty Office	95	12	1,140		1,140
	Lecturer			0		0
	Faculty & Lecturer Growth	95	7	665		665
	Staff/Administrative Assistant	64	2	128		128
	Student Assistant	64	2	128		128
	Staff & Assistant Growth	64	0	0		0
Economics						1,886
	Department Chair	110	1	110		110
	Faculty Office	95	14	1,330		1,330
	Lecturer			0		0
	Faculty & Lecturer Growth	95	2	190		190
	Staff/Administrative Assistant	64	2	128		128
	Student Assistant	64	2	128		128
	Staff & Assistant Growth	64	0	0		0
Finance						1,661
	Department Chair	110	1	110		110
	Faculty Office	95	8	760		760
	Lecturer			0		0
	Faculty & Lecturer Growth	95	5	475		475
	Staff/Administrative Assistant	64	2	128		128
	Student Assistant	64	2	128		128
	Staff & Assistant Growth	64	0	0		0
Management						1,061
	Department Chair	110	1	110		110
	Faculty Office	95	16	1,520		1,520
	Lecturer			0		0
	Faculty & Lecturer Growth	95	9	855		855
	Staff/Administrative Assistant	64	2	128		128
	Part-time instructors	64	5	320		320
	Student Assistant	64	2	128		128
	Staff & Assistant Growth	64	0	0		0
Marketing						1,661
	Department Chair	110	1	110		110
	Faculty Office	95	9	855		855
	Lecturer			0		0
	Faculty & Lecturer Growth	95	4	380		380
	Staff/Administrative Assistant	64	2	128		128
	Student Assistant	64	2	128		128
	Staff & Assistant Growth	64	0	0		0
Faculty & Staff Support						6,400
	Workroom (printers & storage)	250			2	500
	Conference room - small	200	4		4	800
	Conference room - medium	500	8		1,000	
	Faculty & staff lounge	600			1	600
	Professional co-working space	500			1	500
	Students/Faculty collaboration	1000			1	1,000

College Support				1,711	1.3	4,853
Dean's Suite				2,766	1.3	3,588
	Dean's Office (w/colab table)	250	1	250		250
	Dean's Administrative Assistant (Wendi Kelley)	110	1	110		110
	Associate Dean - Graduate Programs & Outreach (Dana Cosby)	110	2	220		220
	Associate Dean, Professor - AIS (Evelyn Thrasher)	110	1	110		110
	Manager - Budgets & Resources (Jenna Atkins)	110	1	110		110
	Director, Student Success (Monica Duval)	110	1	110		110
	Marketing & Communications Specialist (Liz Fogle)	110	1	110		110
	Information Technology Consultant (Jesse Wilcutt)	110	1	110		110
	Business Visitor Office (w/storage)	120	1	120		120
	Student Assistants	65	4	260		260
	Dean's Conference Room	750	14	750		750
	Dean's Reception	150	1	150		150
	Workrooms (printers & storage)	250	1	250		250
	Private Bathroom	100	1	100		100
MBA & Graduate Programs (co-locate with Dean's Suite)						973
	Department Chair	110	1	110		110
	Faculty Office	95	1	95		95
	Graduate Assistants	64	8	512		512
	Faculty & Lecturer Growth	95	0	0		0
	Staff/Administrative Assistant	64	2	128		128
	Student Assistant	64	2	128		128
	Staff & Assistant Growth	64	0	0		0
Administrative & Professional workspaces (co-locate with Dean's Suite)						1,400
Shared Space						2,703
	Director Office - shared across Centers	95	1	95		95
	Center Hub - student/flex workstations	64	8	512		512
	Huddle Rooms / Collaboration Spaces	800	1	800		800
Center for Applied Economics						
	Director Office	95	0	0		0
	Professional work space	64	0	0		0
	Staff/Administrative Assistant	64	1	64		64
Sales Center						
	Director Office	95	0	0		0
	Professional work space	64	0	0		0
	Staff/Administrative Assistant	64	1	64		64
Research & Development Center						
	Director Office	95	0	0		0
	Professional work space	64	0	0		0
	Staff/Administrative Assistant	64	1	64		64
Center for Applied Analytics						
	Director Office - Kay Blankenship	95	0	0		0
	Professional work space	64	0	0		0
	Staff/Administrative Assistant	64	1	64		64
Center for Advancement of Workplace Culture						
	Director Office - Aquema Davies	95	0	0		0
	Professional work space	64	0	0		0
	Staff/Administrative Assistant	64	1	64		64
Center for Entrepreneurship						
	Director Office	95	0	0		0
	Professional work space - Mariah Yates/ Whitney Peake?	64	0	0		0
	Staff/Administrative Assistant	64	1	64		64
Student Services & Success						3,796
Advising & Career Services						4,933
	Director (Monica Duval)	110	1	110		110
	Senior Academic Advisor (Ashley Smith)	95	1	95		95
	Professional Development Specialist (Adrienne Browning)	95	1	95		95
	Academic Advisor, Undergraduate Student Services (Lisa Hampton & Janie Pruitt)	95	2	190		190
	Freshman & Sophomore Advisors	95	4	380		380
	Advisors Growth	95	3	285		285
	Office Associate, Undergraduate Student Services & Tutoring Center (Amy Jewell)	95	1	95		95
	Office Associate, Student Recruitment & Retention (Nicola Sparks)	95	1	95		95
	Staff	95	4	380		380
	Student Assistants	64	2	128		128
	Staff & Assistant Growth	64	1	64		64
	Tutoring Center	80	6	480		480
	Services Hub	130	1	130		130
	Mock Interview Room	175	1	175		175
	Clothes Closet	400	1	400		400
Center for Financial Success (co-locate with Student Success)						
	Director Office - Andrew Head	95	0	0		0
	Professional work space	64	10	640		640
	Staff/Administrative Assistant	64	1	64		64
Common Space						13,958
	Collaboration room	650	6	108	8	5,200
	Collaboration room	500	4	125	6	3,000
	One Button Room	250	1	250		250
	Lightboard Studio	500	1	500		500
	Drop in computer access/printing	400	1	400		400
	Coffee Shop (includes FOH & BOH)	550	1	550		550
	Coffee Shop seating area	300	1	300		300
	Warming party/catering support	250	1	250		250
	Informal Lounge (proximity to student services)	500	1	500		500
	Lobby/Prefunction	3000	1	3,000		3,000
Building Support						6,250
Facilities						8,120
	Mechanical	4500	1	4,500		4,500
	Custodial Closet	100	3	300		300
	Custodial Equipment/Storage	200	1	200		200
	Loading Dock & Storage	500	1	500		500
Information Technology						
	Network closet	150	3	450		450
	Main network closet	300	1	300		300

PRELIMINARY CODE ANALYSIS

Name of Facility Gordon Ford College of Business

Project Name Gordon Ford College of Business

Project Type New Construction
New/Addition/Renovation (If not New list Alteration Level per IBC Chapter 6)

Applicable Building Codes

Building 2018 Kentucky Building Code
Accessibility 2018 KBC Chapter 11, 2009 ICC/ANSI A117.1 Accessible & Usable Building
Mechanical 2015 International Mechanical Code
Electrical 2017 NFPA 70 National Electrical Code
2020 Kentucky State Plumbing Law, Regulations & Code (815 KAR Chapter 20), 2013 NFPA 13 Sprinkler Systems
Plumbing Chapter 20), 2013 NFPA 13 Sprinkler Systems
Life Safety 2012 NFPA 101 Life Safety Code
2015 International Fire Code, 2013 NFPA 72 National Fire Alarm & Signaling Code, 2013 NFPA 14 (if standpipes are required), 2013 NFPA 20 (if fire pump is required)
Fire Protection 2012 International Energy Conservation Code
Energy Conservation 2012 International Energy Conservation Code
Other 2018 KBC Chapter 1603.1.5 Earthquake Design Data

Building Information			
Construction Type	Number of Stories	Building Area (GSF)	Building Height (ft)
Type IB	3	113,327	65
	12 max	Unlimited	180 max

SM = Buildings two or more stories above grade plane equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1.

Sprinkler System
 Full Partial None Dry Preaction Existing

Fire Alarm System
 Direct FD Connection Coded Supervisory Remote Proprietary Existing

Emergency Power
 Generator UPS Alternative Existing

Occupancy Classification : Business Group B

Fire Protection		
Structural Components	Required Rating	Applied U.L. Assembly
Primary structural frame	2	
Bearing Walls		
Exterior	2	
Interior	2	
Floor construction and associated secondary membe	2	
Roof construction and associated secondary membe	1	

Fire Protection	
Rated Interior Partitions	Applied U.L. Assembly
1 Hour	
1 Hour / Smoke	
Smoke Barrier	
2 Hour	
2 Hour Shaft Wall	
Stair Enclosure	

Reference Section	Code Requirement	Notes	
Corridors			
(1005)	Width	min. 44 inch	
		min. for occupancy > 50 36 inch	
		Ambulatory with stretcher traffic 72 inch	
		min. per occupant 0.2 inch	
(1003.2)	Walls (Rating)	Sprinklered 1 hr	0.15 inch per occupant in buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2 and an emergency voice/alarm communication system in accordance with Section 907.5.2.2.
		Not sprinklered 1 hr	0.2 inch per occupant. (1003.2 ceiling height). The means of egress shall have a ceiling height of not less than 7 feet 6 inches (2286 mm).
(1017.2) (1006.2.1) (1006.2.1) (1006.2.1) (1006.4)	Height	7'-6" min.	
		300 feet	
		200 feet	
		150 feet	
		75 feet	
Travel Distance			
Occupant Load			
(TABLE 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT)		1006.2.2.1 Boiler, Incinerator and Furnace Rooms Two exit access doorways are required in boiler, incinerator and furnace rooms where the area is over 500 square feet (46 m ²) and any fuel-fired equipment exceeds 400,000 British Thermal Units (442,000 kJ) input capacity.	
Accessory storage / MEP	300 gross		
Assembly (Concentrated, stairs only)	7 net		
Assembly (tables and chairs)	15 net		
Business Areas	100 gross		
Educational (Classroom)	20 net		
Educational (Shops & Other vocational areas)	50 net		
Exercise Rooms	50 gross		
Industrial	100 gross		
Kitchen (Commercial)	200 gross		
Library (Reading Room)	50 net		
Ordinary Class Room	100 gross		
Locker Rooms	50 gross		
Merchandise	60 gross		
Parking	200 gross		
Residential	200 gross		
Stages & Platforms	15 net		
Warehouses	500 gross		
Min Number of Exits			
(1006)	1 Exit: < 50 occupants within space or on first story 2 Exits: 50 - 500 3 Exits: 501 - 1000 4 Exits: > 1000 occupants	note: must meet max common path of travel (table 1006.2.1) Exits at exit access doorways Exits at exit rooms doorways	
Stairs			
(1005)	Width	Min. (sprinklered bldg) 44 inch	2.4 inch per occupant in buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2 and an emergency voice/alarm communication system in accordance with Section 907.5.2.2.
		Min. (not sprinklered bldg) 48 inch	2.7 inch per occupant. Where stairways serve more than one story, the occupant load of each story considered individually shall be used in calculating the required capacity of the stairway serving that story.
		min. per occupant 0.2 inch	2.4 inch per occupant in buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2 and an emergency voice/alarm communication system in accordance with Section 907.5.2.2.
		4 Stairs	
(713.4)	Width (Rating)	4 Stairs	Not less than floor rating
	Height	80 inch	
<p>to be considered part of an accessible height of egress if a hallway between stories shall have a clear width of 48 inches (1219 mm) minimum between handrails and shall either incorporate an area of refuge within an enlarged floor-level landing or shall be accessed from an area of refuge.</p> <p>Areas of refuge are not required at exit access stairways where two-way communication is provided in the elevator landing in accordance with Section 1009.4.</p> <p>Two-way communication shall be provided in the elevator landing in accordance with Section 1009.4.</p> <p>Areas of refuge located within an enclosure for interior exit stairways complying with Section 1007.</p> <p>Two-way communication shall be provided in the elevator landing in accordance with Section 1009.4.</p> <p>Areas of refuge shall be provided with a two-way communication system complying with Sections 1009.4.1 and 1009.4.2.</p>			
Doors			
(1010) (1005) (Table 716.1.2)	Width	min. clear opening 32 inch	
		inch per occupant 0.2 inch	
		1 hr Wall (for barrier based components (i.e. doors exit access)) 60 minutes	
		1 hr Wall (other fire barrier) 45 minutes	
		1 hr Wall (for pressurized vestibule) 20 minutes	
		1 hr Wall (other fire partition) 45 minutes	
(1010.1.1)	Rating	2 hr Wall (not emergency or alarm exit access) 90 minutes	
		2 hr Wall (other fire walls and fire barriers) 90 minutes	
(1010.1.1.2) Power Operated Doors	Height	min. 80 inch	Where means of egress doors are operated or assisted by power, the design shall be such that in the event of power failure, the door is capable of being opened manually to permit means of egress travel or closed where necessary to safeguard means of egress.
Construction Classification			
TABLE 602	FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCES, d, g	10 - 30 ft	Type IB - 1 hr IB - 0 hr

OCCUPANCY CALCULATION

DEPARTMENT	GROSS SF	NET SF	CLASSIFICATION	AREA/PERSON	OCCUPANT LOAD
Classrooms		20,800	Educational (Classroom)	20	1,040
Auditorium		6,000	Assembly (tables and chairs)	300 FIXED SEATS	300
Class Labs		3,100	Educational (Shops & Other vocational areas)	50	62
Academic Departments	15,374		Business Areas (gross)	100	154
Faculty & Staff Support	5,720		Business Areas (gross)	100	57
College Support	4,853		Business Areas (gross)	100	49
Centers	2,205		Business Areas (gross)	100	22
Student Services & Success	4,935		Business Areas (gross)	100	49
Common Space	17,095		Business Areas (gross)	100	171
Coffee Shop	1,040		Kitchen Commercial (gross)	200	5
Mechanical / Storage	8,125		Accessory storage / MEP (gross)	300	27
					1,936

PRELIMINARY PLUMBING FIXTURE COUNT

PLUMBING FIXTURE COUNT - CLASS B	SCHOOLS OF HIGHER EDUCATION (1,434 OCCUPANTS)				
1,434	WC FEMALE (1 PER 25)	WC MALE (1 PER 50)	URINAL MALE (1 PER 50)	LAVS (1 PER 25)	DRINKING FOUNTAINS (1 PER 75)
50% FEMALE	29	14	14	57	19
50% MALE					

PLUMBING FIXTURE COUNT - CLASS B	OFFICE BUILDING (534 OCCUPANTS)				
502	WC FEMALES & MALE	LAVS		DRINKING FOUNTAINS (1 PER 75)	
	6 FOR 150	6	5 FOR 125	5	7
	1 PER 40	9	1 PER 75	5	
		15		10	

TOTAL	WC FEMALE	WC MALE	URINAL MALE	LAVS	DRINKING FOUNTAINS
	36	18	18	67	26

LEED SCORECARD



LEED v4.1 BD+C
Project Checklist

Project Name: **WKU Gordon Ford College of Business**
Date: **7/13/2022**

Y ? N

Y	1	Credit	Integrative Process	1
---	---	--------	---------------------	---

6	5	1	Location and Transportation	16
	NA	Credit	LEED for Neighborhood Development Location	16
2		Credit	Sensitive Land Protection	1
2		Credit	High Priority Site and Equitable Development	2
2		Credit	Surrounding Density and Diverse Uses	5
2	1	Credit	Access to Quality Transit	5
	1	Credit	Bicycle Facilities	1
1		Credit	Reduced Parking Footprint	1
1		Credit	Electric Vehicles	1

5	5	0	Sustainable Sites	10
Y		Prereq	Construction Activity Pollution Prevention	Required
1		Credit	Site Assessment	1
	2	Credit	Protect or Restore Habitat	2
1		Credit	Open Space	1
1	2	Credit	Rainwater Management	3
1	1	Credit	Heat Island Reduction	2
1		Credit	Light Pollution Reduction	1

4	6	0	Water Efficiency	11
Y		Prereq	Outdoor Water Use Reduction	Required
Y		Prereq	Indoor Water Use Reduction	Required
Y		Prereq	Building-Level Water Metering	Required
1	1	Credit	Outdoor Water Use Reduction	2
2	4	Credit	Indoor Water Use Reduction	6
	1	Credit	Optimize Process Water Use	2
1		Credit	Water Metering	1

9	13	11	Energy and Atmosphere	33
Y		Prereq	Fundamental Commissioning and Verification	Required
Y		Prereq	Minimum Energy Performance	Required
Y		Prereq	Building-Level Energy Metering	Required
Y		Prereq	Fundamental Refrigerant Management	Required
	6	Credit	Enhanced Commissioning	6
7	7	4	Optimize Energy Performance	18
1		Credit	Advanced Energy Metering	1
	2	Credit	Grid Harmonization	2
	5	Credit	Renewable Energy	5
1		Credit	Enhanced Refrigerant Management	1

6	2	5	Materials and Resources	13	
Y		Prereq	Storage and Collection of Recyclables	Required	
		5	Credit	Building Life-Cycle Impact Reduction	5
2		Credit	Environmental Product Declarations	2	
2		Credit	Sourcing of Raw Materials	2	
2		Credit	Material Ingredients	2	
	2	Credit	Construction and Demolition Waste Management	2	

13	3	0	Indoor Environmental Quality	16
Y		Prereq	Minimum Indoor Air Quality Performance	Required
Y		Prereq	Environmental Tobacco Smoke Control	Required
2		Credit	Enhanced Indoor Air Quality Strategies	2
2	1	Credit	Low-Emitting Materials	3
1		Credit	Construction Indoor Air Quality Management Plan	1
2		Credit	Indoor Air Quality Assessment	2
1		Credit	Thermal Comfort	1
2		Credit	Interior Lighting	2
2	1	Credit	Daylight	3
1		Credit	Quality Views	1
	1	Credit	Acoustic Performance	1

1	2	0	Innovation	6
	2	Credit	Innovation	5
1		Credit	LEED Accredited Professional	1

3	1	0	Regional Priority	4
1		Credit	Regional Priority: Optimize Energy Performance	1
1		Credit	Regional Priority: Reduced Parking Footprint	1
1		Credit	Regional Priority: Access to Quality Transit	1
	1	Credit	Regional Priority: Specific Credit	1

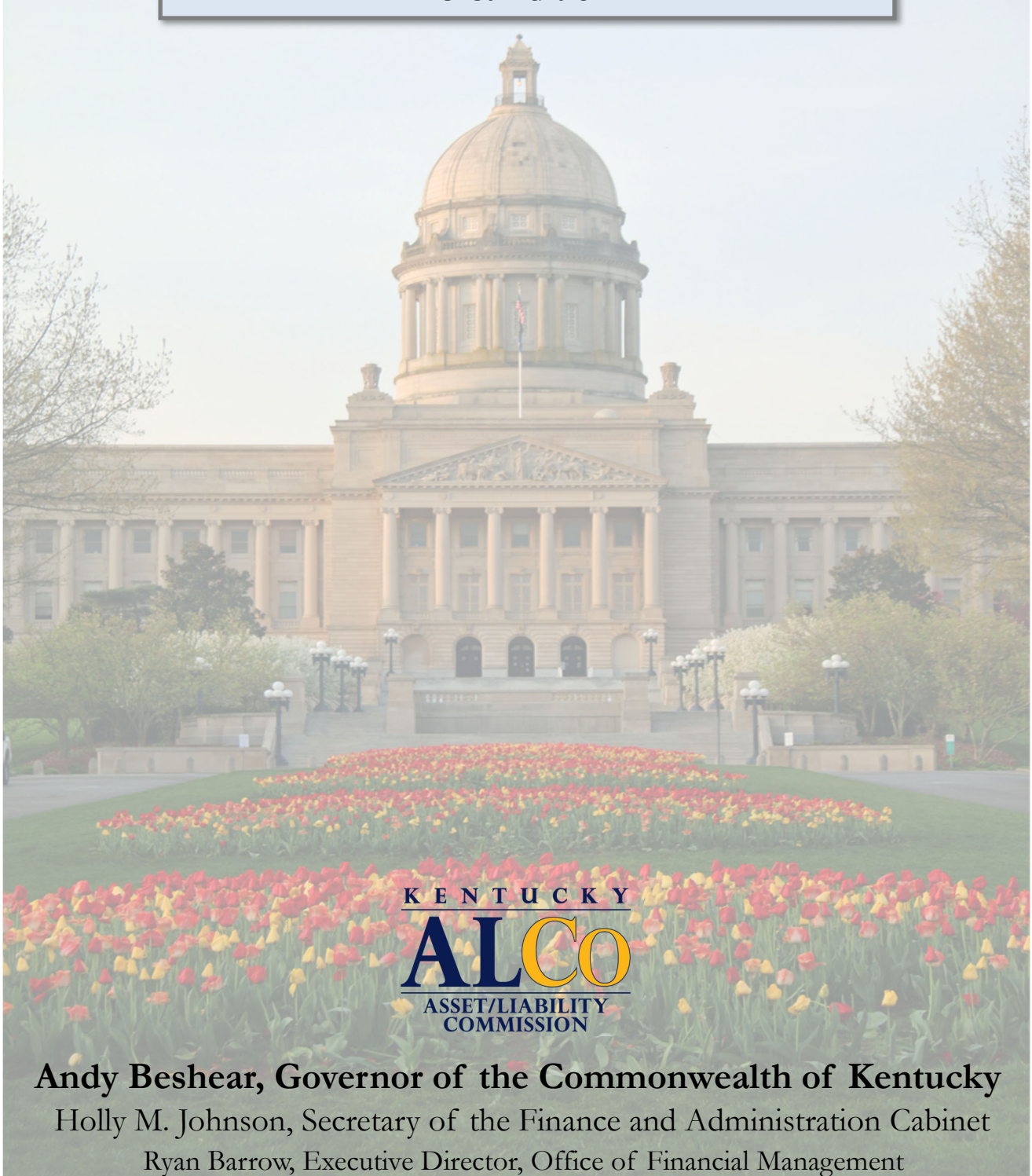
47	38	17	TOTALS	Possible Points: 110
Led: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80				

END OF REPORT

COMMONWEALTH OF KENTUCKY
KENTUCKY ASSET/LIABILITY COMMISSION
SEMI-ANNUAL REPORT

For the period ending June 30, 2022

51st Edition



KENTUCKY
ALCo
ASSET/LIABILITY
COMMISSION

Andy Beshear, Governor of the Commonwealth of Kentucky
Holly M. Johnson, Secretary of the Finance and Administration Cabinet
Ryan Barrow, Executive Director, Office of Financial Management

A copy of this report:

[ALCo Semi-Annual Reports - Finance and Administration Cabinet \(ky.gov\)](#)

The Commonwealth's Annual Comprehensive Financial Report (ACFR):

<https://finance.ky.gov/office-of-the-controller/office-of-statewide-accounting-services/financial-reporting-branch/Pages/annual-comprehensive-financial-reports.aspx>

The Municipal Securities Rulemaking Board (MSRB)

Electronic Municipal Market Access (EMMA):

<http://emma.msrb.org/>

Commonwealth of Kentucky Investor Relations (BondLink):

<https://bonds.ky.gov/>

Office of Financial Management (OFM):

<https://ofm.ky.gov>

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Finance Cabinet Employee



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INTRODUCTION

The Kentucky Asset/Liability Commission (“ALCo” or the “Commission”) presents its 51st semi-annual report to the Capital Projects and Bond Oversight Committee and the Interim Joint Committee on Appropriations and Revenue pursuant to KRS 56.863 (11) for the period beginning January 1, 2022 through June 30, 2022.

Provided in the report is the current structure of the Commonwealth’s investment and debt portfolios and the strategy used to reduce both the impact of variable revenue receipts on the budget of the Commonwealth and fluctuating interest rates on the interest-sensitive assets and interest-sensitive liabilities of the Commonwealth. An analysis of the Commonwealth’s outstanding debt is provided as well as a description of financial agreements entered into during the reporting period.

Several factors on both the state and national level had an impact on activity during the reporting period. The most significant factors were:

On the national level

- The Federal Reserve Board of Governors raised the federal funds rate to 1.50 percent to 1.75 percent during the first half of 2022.
- The unemployment rate fell to 3.6 percent ending June 2022 from 3.9 percent in December 2021.
- The annual rate of economic growth as measured by GDP fell over the first two quarters of 2022. The seasonally adjusted rate for the first quarter was negative 1.6 percent and second quarter was a negative 0.9 percent.
- Inflation continued the trend upward during the first quarter of 2022 but then fell over the second quarter with the core rate (ex-energy and food) ending the first half of 2022 at 4.8 percent.
- The 2022 Regular Session of the General Assembly delivered House Bill 1 (Executive Branch Budget other than the Transportation Cabinet) and House Bill 241 (Kentucky Transportation Cabinet Budget) to the Governor on March 30, 2022. Together the bills authorize bond financing for projects totaling a net amount of \$3.767 billion to support various capital initiatives of the Commonwealth.
- Implementation of bond authorizations from prior-year sessions of the General Assembly continued. Bond issues for the period are discussed later in the report.

On the state level

- General Fund receipts totaled \$14.7 billion for Fiscal Year (FY) 2022, an increase of 14.6 percent over FY 2021 collections. General Fund revenues exceeded the budgeted estimate by \$945.4 million.
- Road Fund receipts for FY 2022 totaled \$1.67 billion, an increase of 2.0 percent from the previous fiscal year. Road Fund collections were below the budgeted estimate by \$4.7 million, or 0.3 percent.

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Market Overview

In the first part of the year, inflation remained well above the Federal Open Market Committee's (FOMC) longer-run objective of 2 percent, with some inflation measures rising to their highest levels in more than 40 years. These price pressures reflect supply and demand imbalances, higher energy and food prices, and broader price pressures, including those resulting from an extremely tight labor market. In the labor market, demand has remained strong, and supply has increased only modestly. As a result, the unemployment rate fell noticeably below the median of FOMC participants' estimates of its longer-run normal level, and nominal wages continued to rise rapidly. Although overall economic activity edged down, household spending and business fixed investment remained strong. The most recent indicators suggest that private fixed investment may be moderating, but consumer spending remains strong.

In response to sustained inflationary pressures and a strong labor market, the FOMC has been adjusting its policies and communications since last fall. At its March meeting, the FOMC raised the target range for the federal funds rate to 0.25 to 0.50 percent. The Committee continued to raise the target range in May and June, bringing it to 1.5 to 1.75 percent following the June meeting, and indicated that ongoing increases are likely to be appropriate. The Committee ceased net asset purchases in early March and began reducing its securities holdings in June.

Employment

Demand for labor continued to outstrip available supply across many parts of the economy, and

nominal wages continued to increase at a robust pace. While labor demand remained very strong, labor supply increased only modestly. As a result, the labor market tightened further between December and June, with job gains averaging 475,000 per month and the unemployment rate falling from 3.9 percent to 3.6 percent, just above the bottom of its range over the past 50 years.

At the end of April, there were 11.4 million job openings, 60 percent above pre-pandemic levels and down a bit from the all-time high recorded in March. Meanwhile, the supply of labor rose only gradually and remained below pre-pandemic levels. The labor force participation rate (LFPR), which measures the share of people either working or actively seeking work, edged up just 0.1 percentage point in the first half of the year following a 0.4 percentage point improvement last year to 62.3 percent.

Despite these improvements, the LFPR remains 1.1 percentage points below its February 2020 level. About one-half of this decline in the participation rate was expected even in the absence of the pandemic, as additional members of the large baby-boom generation have reached retirement age. In addition, several pandemic-related factors appear to be continuing to hold down the participation rate, including a pandemic-induced surge in retirements (beyond that implied by the aging of the baby boomers) and, to a diminishing extent, increased caregiving responsibilities and some continuing concerns about contracting COVID-19.

In addition to subdued participation, a second factor constraining the size of the labor force has been a marked slowing in population growth since the start of the pandemic. Over 2020 and

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2021, the working-age (16 and over) population grew by 0.4 percent per year on average which is notably less than the 0.9 percent average rate over the previous five years. The slowing in population growth over 2020–21 was due to both a sharp decline in net immigration and a spike in COVID-related deaths. Had the population increased over 2020–21 at the same rate as over the previous five years, the labor force would have been about 1.75 million larger as of the second quarter of this year.

Inflation

Consumer price inflation, as measured by the 12-month change in the price index for personal consumption expenditures (PCE), rose from 5.8 percent in December 2021 to 6.8 percent in June, its highest level since the early 1980s and well above the FOMC's objective of 2 percent. This increase was driven by an acceleration of retail food and energy prices, reflecting further increases in commodity prices. The 12-month measure of inflation that excludes the volatile food and energy categories (so-called core inflation) rose initially and then fell back to 4.8 percent in June, basically unchanged from last December. Three-month measures of core inflation have softened since December but remain far above levels consistent with price stability. Measures of near-term inflation expectations continued to rise markedly, while longer-term expectations moved up by less.

Economic Growth

Real gross domestic product (GDP) is reported to have surged at a 6.9 percent annual rate in the fourth quarter of 2021 and then to have declined at a 1.6 percent annual rate in the first quarter of 2022. The large swings in growth rates reflected

fluctuations in the volatile expenditure categories of net exports and inventory investment. Abstracting from these volatile components, growth in private domestic final demand (consumer spending plus residential and business fixed investment, a measure that tends to be more stable and better reflects the strength of overall economic activity) was strong in the first quarter, supported by some unwinding of supply bottlenecks and a further reopening of the economy. The most recent indicators suggest that private fixed investment may be moderating, but consumer spending remains strong. Even so, real GDP declined again in the second quarter, posting a negative 0.9 percent.

Interest Rates

In March, May, and June, the FOMC raised the target range for the federal funds rate a total of 1.50 percentage points. The expected path of the federal funds rate over the next few years also shifted up substantially since late February. Economic data releases and FOMC communications were viewed by market participants as implying tighter monetary policy than previously expected. Market-based measures suggest that investors anticipate the federal funds rate to exceed 3.6 percent by the end of 2022, which is about 2 percentage points higher than the level expected in late February. The same measures suggest that the federal funds rate is expected to peak at about 4 percent in mid-2023 before gradually declining to about 3.1 percent by the end of 2025, which is about 1.4 percentage points higher than the end of 2025 rate expected in late February.

Before late February, the expected path of the federal funds rate had started to increase notably in the third quarter of last year, in anticipation of

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increases in the target range. Consistent with the rise in the expected path of the federal funds rate, yields on Treasury securities and corporate bonds, as well as mortgage rates, all started to increase materially. Overall, these moves in asset prices suggest tightening of financial conditions even before the initial increase in the target range of the federal funds rate occurred in March.

Yields on nominal Treasury securities across maturities have risen considerably since late February. After a brief dip in late February, yields rose steadily amid higher inflationary pressures and associated expectations for monetary policy tightening. The increases in nominal Treasury yields were primarily accounted for by rising real yields. Uncertainty about longer-term interest rates also increased significantly, reportedly reflecting, in part, an increase in uncertainty about the policy outlook.

Since late February, yields on agency mortgage-backed securities (MBS), an important pricing factor for home mortgage rates increased significantly, as longer-term Treasury yields increased and spreads over comparable maturity Treasury securities widened. MBS spreads increased as market participants' expectations of a gradual reduction in the Federal Reserve's balance sheet shifted to a faster reduction.

Equities

Broad equity price indexes were volatile and declined sharply, on net, amid sustained inflation pressures and expectations of monetary policy tightening, as well as heightened uncertainty and the economic outlook. One-month option-implied volatility on the S&P 500 index, the VIX rose notably to elevated levels in the days following Russia's

invasion of Ukraine. The VIX trended down for some time only to increase again and remain elevated since late April amid a notable deterioration in risk sentiment.

Outlook

The Committee is strongly committed to returning inflation to its 2 percent objective. In assessing the appropriate stance of monetary policy, the Committee will continue to monitor the implications of incoming information for the economic outlook. The Committee's assessments will take into account a wide range of information, including readings on inflation and inflation expectations, wages, other measures of labor market conditions, financial and international developments, and public health.

In conjunction with the Federal Open Market Committee (FOMC) meeting held on June 14 and 15, 2022, meeting participants submitted their projections of the most likely outcomes for real gross domestic product (GDP) growth, the unemployment rate, and inflation for each year from 2022 to 2024 and over the longer run.

For 2022, the median forecast for GDP, unemployment rate and inflation is 1.7 percent, 3.7 percent and 5.2 percent, respectively. The expected Federal funds rate at the end of 2022 is 3.4 percent.

For 2023, the median forecast for GDP, unemployment rate and inflation is 1.7 percent, and 5.2 percent, respectively. The expected Federal funds rate at the end of 2022 is 3.4 percent.

For 2023, the median forecast for GDP, unemployment rate and inflation is 1.7 percent,

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3.9 percent and 2.6 percent, respectively. The expected Federal funds rate at the end of 2023 is 3.8 percent.

For 2024, the median forecast for GDP, unemployment rate and inflation is 1.9 percent, 4.1 percent and 2.2 percent, respectively. The expected Federal funds rate at the end of 2023 is 3.4 percent.

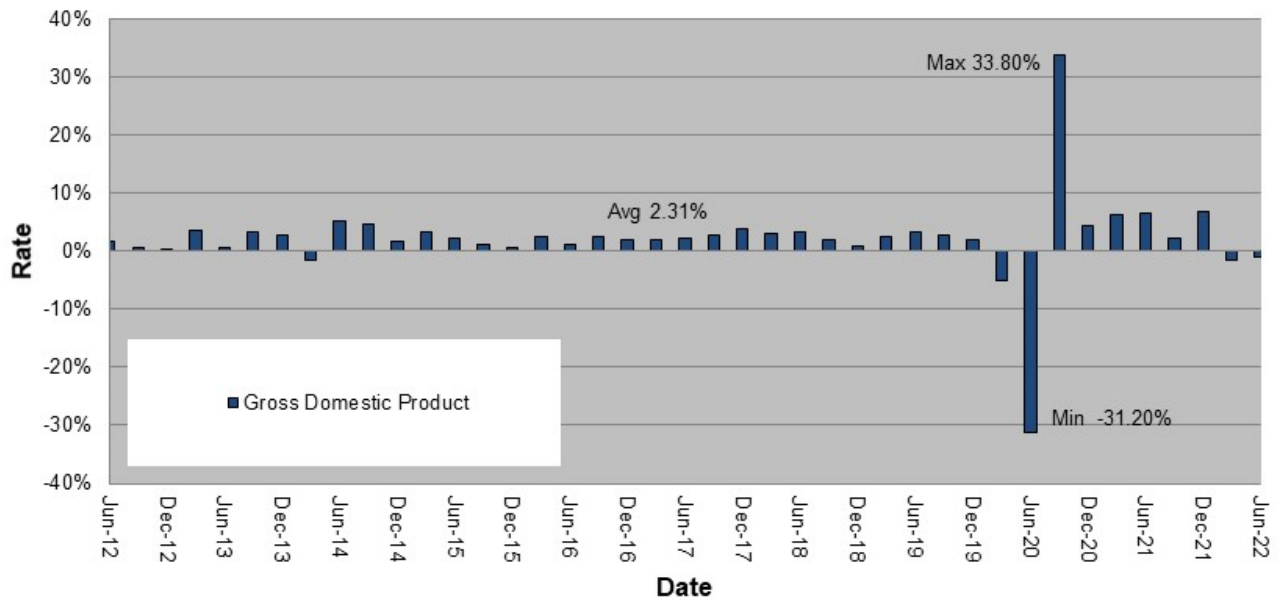
And, longer run projections are 1.8 percent for GDP, 4.0 percent for unemployment and 2.0 percent inflation with an expected Federal funds rate of 2.5 percent.

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Real Gross Domestic Product & Standard & Poor's 500

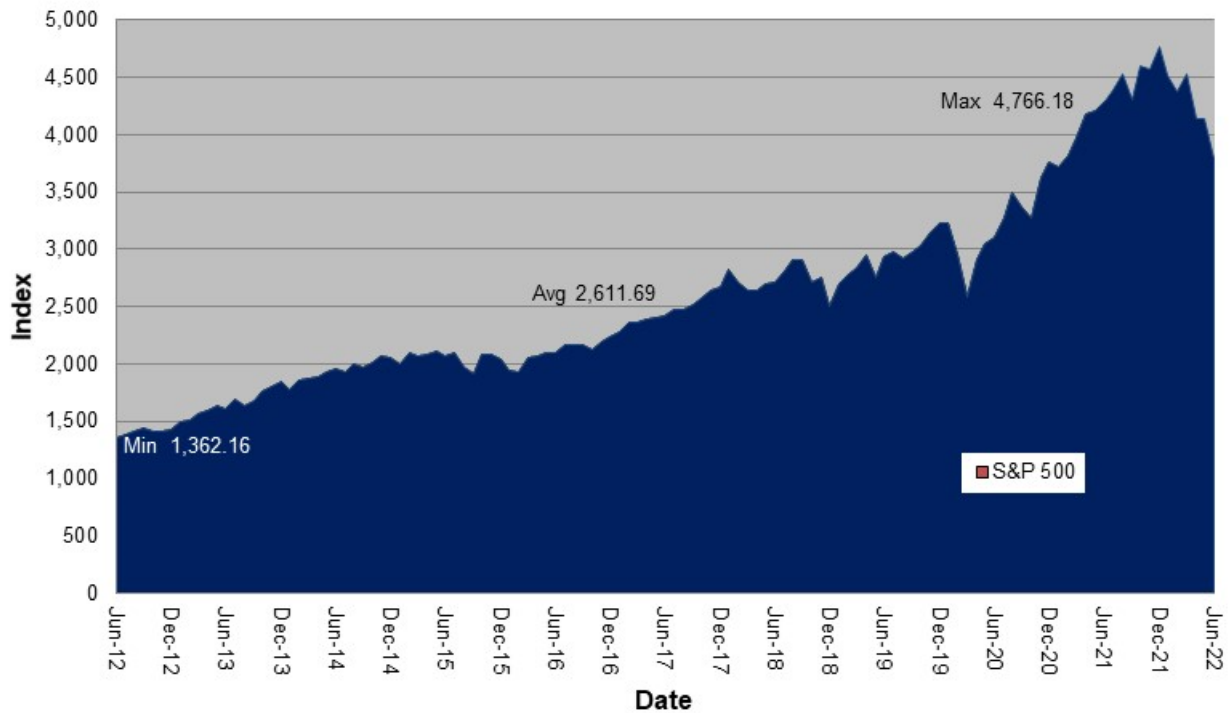
Real Gross Domestic Product

Quarter Over Quarter
Range 07/01/2012-6/30/2022
GDP CQOQ Index



Standard & Poor's 500

Range 07/01/2012-6/30/2022
SPX Index

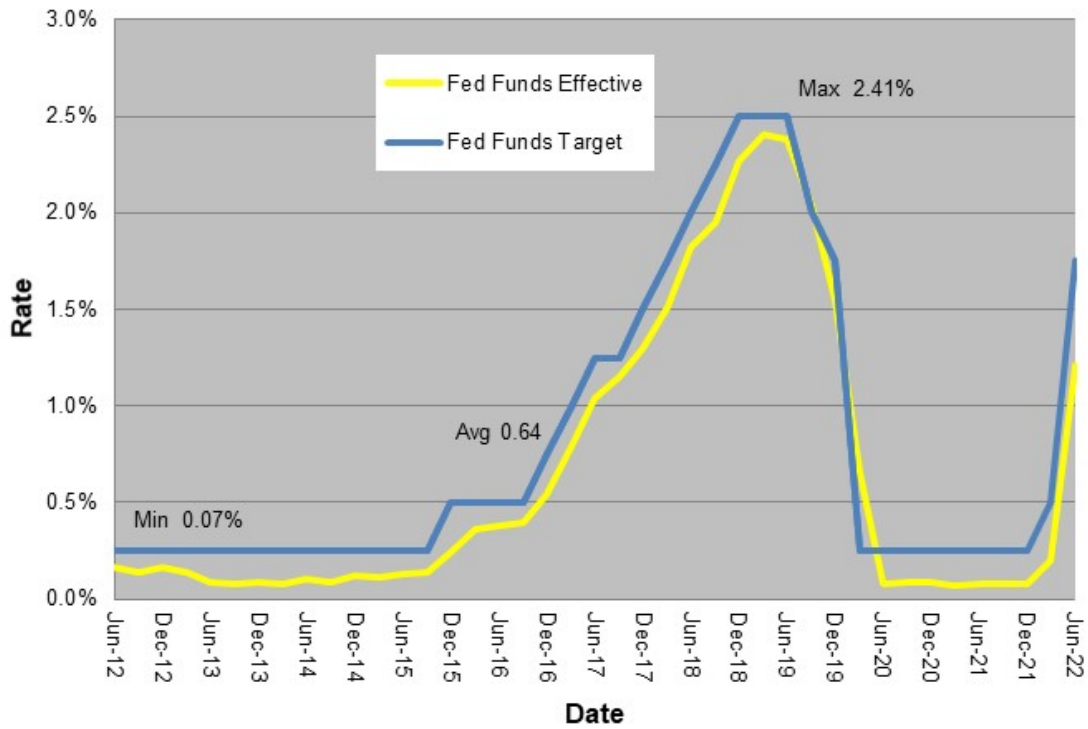


INVESTMENT MANAGEMENT

Federal Funds Target Rate & NonFarm Payrolls

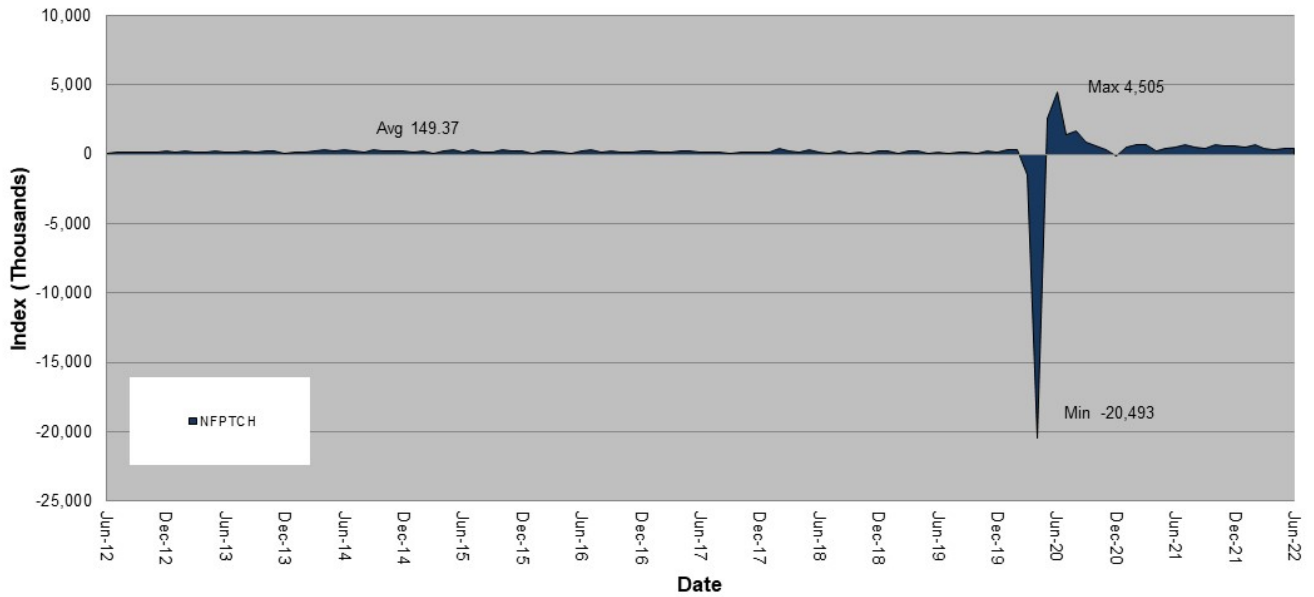
Federal Funds Target Rate

Range 07/01/2012-6/30/2022
FEDL01 Index/FDTR Index



Nonfarm Payrolls

Range 07/01/2012-6/30/2022
NFPTCH Index



INVESTMENT MANAGEMENT

Portfolio Management

For six months ended June 30, 2022, the Commonwealth's combined investment portfolio was approximately \$11.7 billion. The portfolio was invested in U. S. Treasury Securities (21.8%), U. S. Agency Securities (15.9%), Mortgage-Backed Securities (0.3%), Repurchase Agreements (3.4%), Corporate Securities (0.3%), Asset-Backed Securities (0.9%), and Money Market Securities (57.4%). The portfolio had a market yield of 1.71% and an effective duration of 0.43 of a year.

The total portfolio is substantially larger than historical amounts due to receipt of federal funds. It is broken down into three investment pools. The pool balances as of June 30, 2022 was \$6.1 billion (Short Term Pool), \$2.5 billion (Limited Term Pool), \$3.1 billion (Intermediate Term Pool).

Intermediate Pool Performance: In the current rising interest rate environment

The last six to eight months have been very volatile for fixed income portfolios. Regardless of duration, portfolios have suffered mark-to-market losses, and the Intermediate Pool is no exception. The Federal Reserve began raising rates at the March 2022 meeting, increasing the Fed Funds rate by 25 basis points and indicated rate increases at future meetings. After March, it became apparent that inflation was a bigger problem than the Federal Reserve and much of the market expected. The prospect of a faster interest rate policy shift by the Federal Reserve emerged quickly with the expected size of future rate hikes changing from 25 to 50 basis point increments. As a result, the Federal Reserve rose rates 50 basis points in May to 0.75 percent.

With the Consumer Price Index at its highest number in 40-years at 8.6 percent for May, the Federal Reserve, only a few days later, at their June meeting raised rates 75 basis points moving the rate to 1.50 percent, the largest rate increase since 1994. As of June, the bond market has moved in anticipation of a Fed Funds rate of

3.50 percent by the end of calendar year 2022 with the expectation they will move 50 to 75 basis points at each of the remaining four meetings.

Using the 2YR Treasury as a benchmark, rates have gone from a low of 0.202 percent at the end of August 2021 to 2.957 percent at the end of June 2022. An increase of 276 basis points.

For marked-to-market portfolios such as the Intermediate Pool, as rates rise, prices fall and there will be "paper" losses on any given day and month.

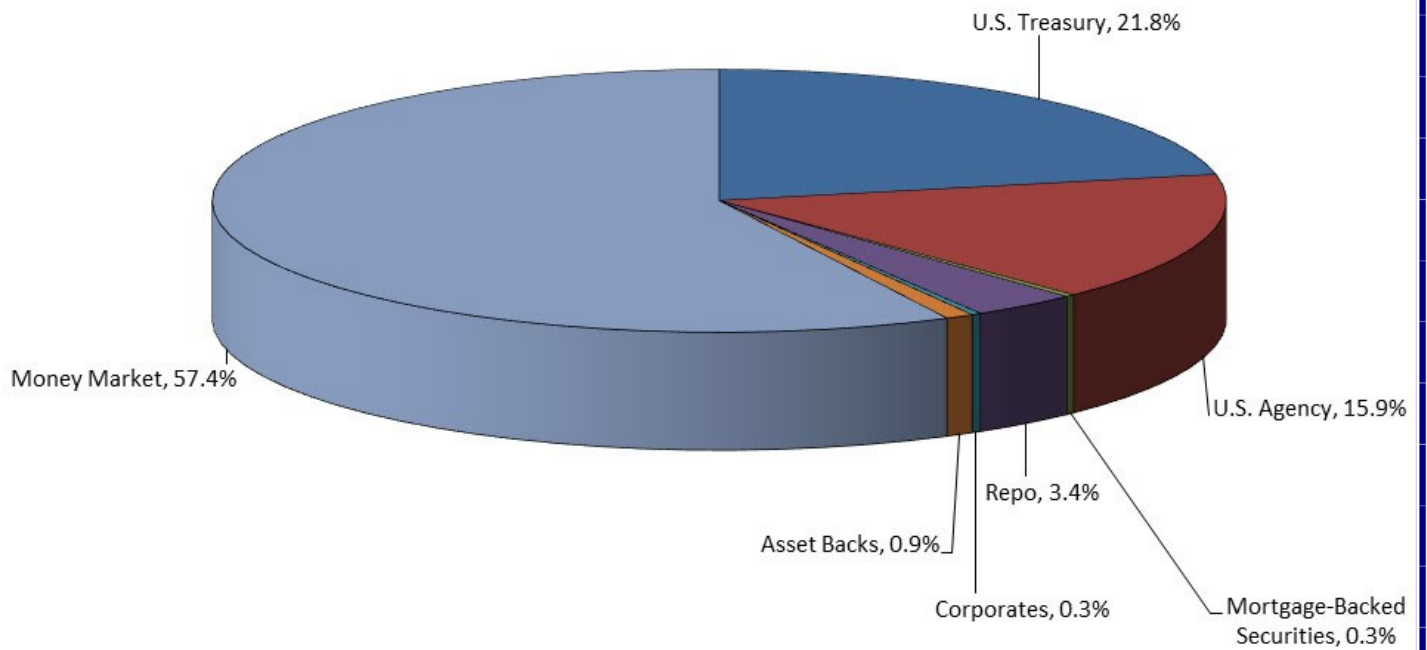
Hypothetical Example for illustration:

In mid-October \$75 million of a Treasury was purchased maturing 6/15/2024 with a coupon of 0.25 percent. Over the total holding period, the interest earned will be over \$1 million with an annualized total return of 0.544 percent.

However, as market rates rise the monthly losses will be reflected on reports from purchase to maturity. This is because the reports show the value if the security is sold but if held to maturity it is redeemed at par with the investor receiving interest earnings (i.e. over \$1 million).

INVESTMENT MANAGEMENT

Distribution of Investments as of June 30, 2022



INVESTMENT MANAGEMENT

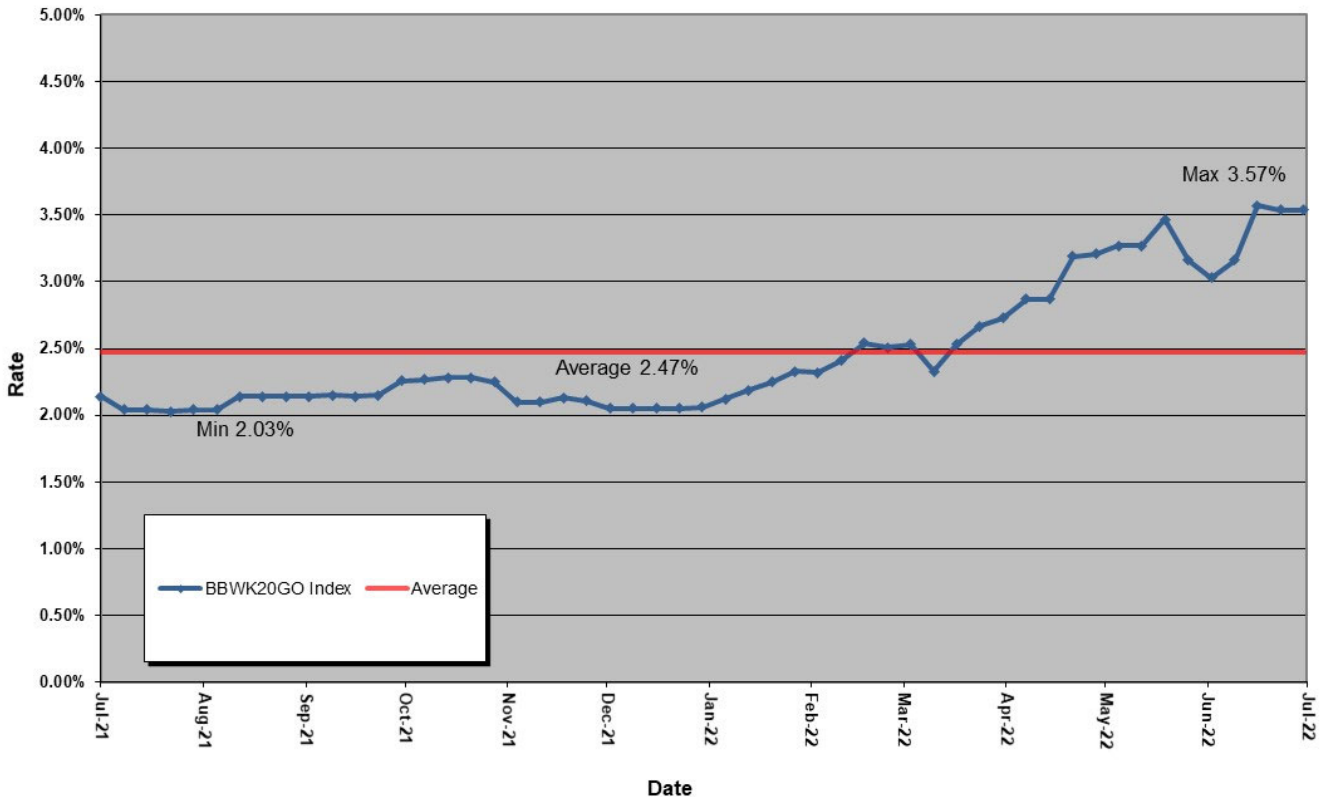
Tax-Exempt Interest Rates and Relationships

The Bond Buyer 20 General Obligation Index averaged 2.47 percent for Fiscal Year 2022. The high was 3.57 percent in June 2022 and the low was 2.03 percent in July 2021.

The Securities Industry and Financial Markets Association (SIFMA) Municipal Swap Index averaged 0.24 percent for Fiscal Year 2022. The

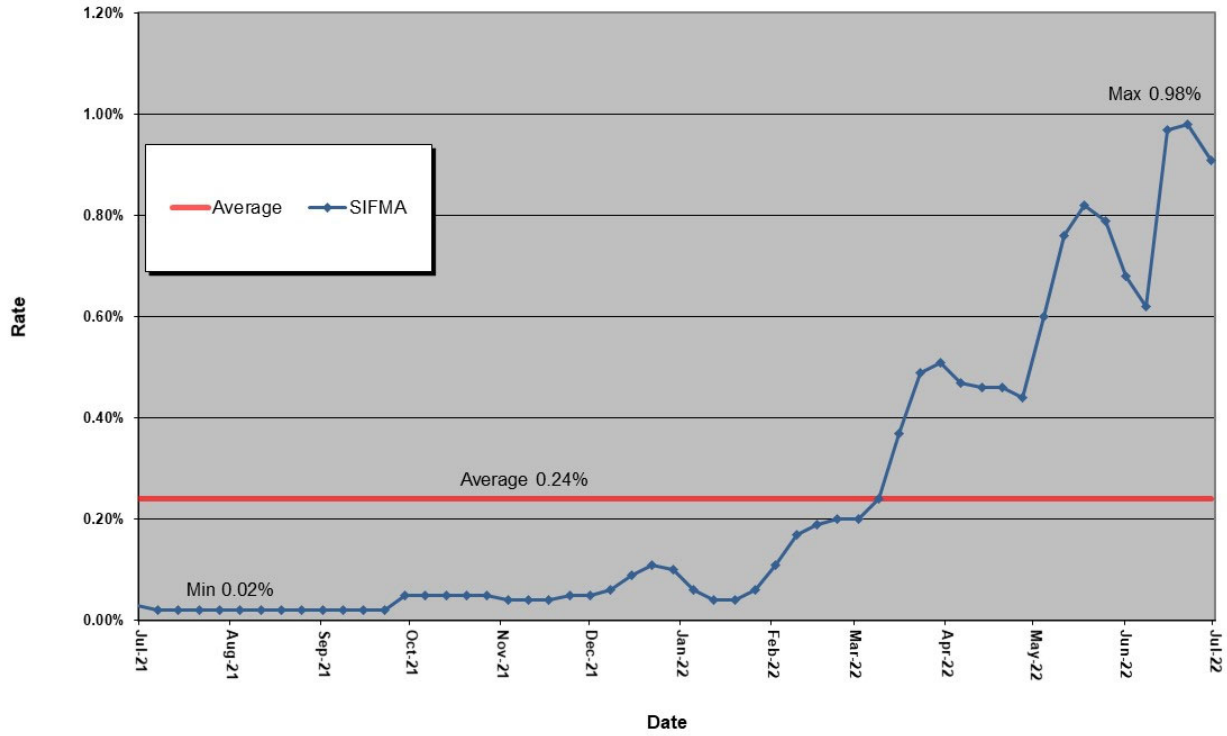
high was 0.98 percent in June 2022 and the low was 0.02 percent in July 2021. The 30-day USD London Interbank Offered Rate (LIBOR) averaged 0.37 percent for Fiscal Year 2022. The high was 1.63 percent in June 2022 and the low was 0.075 percent in October 2021. During the year, SIFMA traded at a high of 116.55 percent of the 30-day LIBOR in April 2022, at a low of 19.97 percent in July 2021, and at an average of 58.16 percent for the Fiscal Year.

Bond Buyer 20 General Obligation Index
 Range 07/01/2021 - 06/30/2022
 BBWK20GO Index

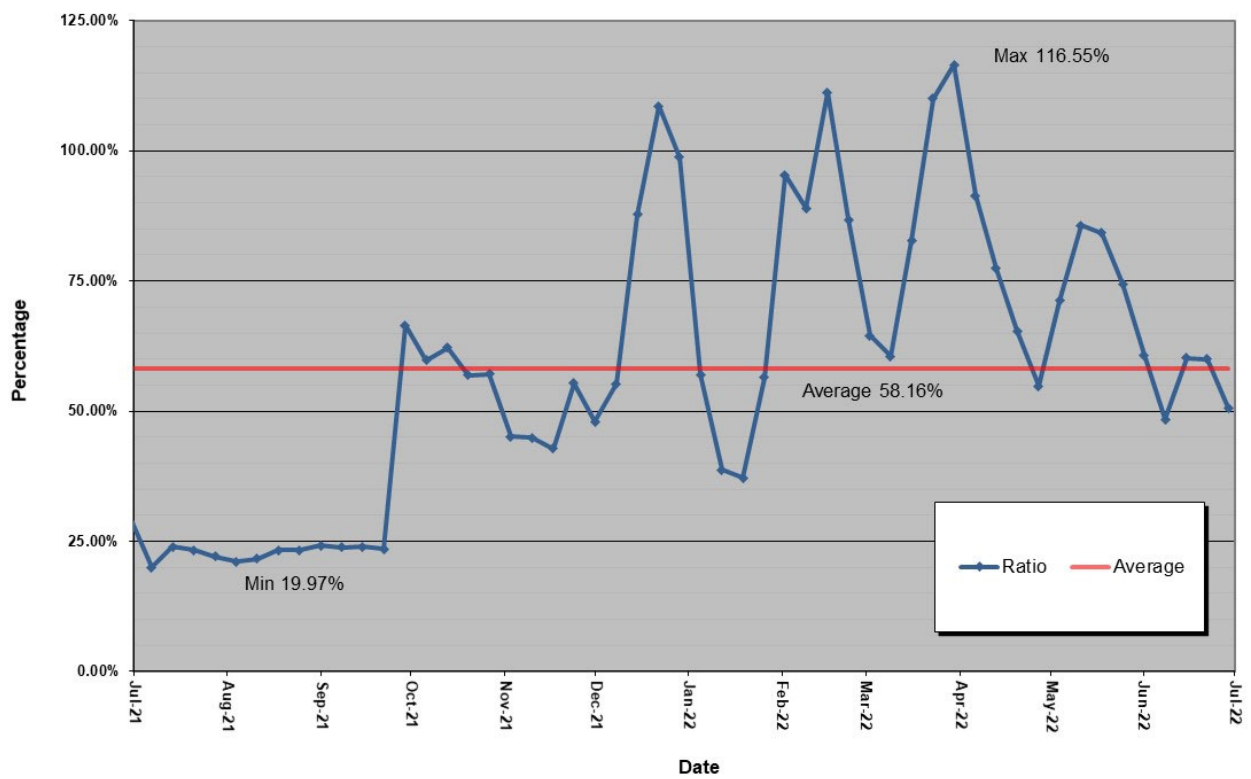


SIFMA & SIFMA/LIBOR Ratio

SIFMA Rate
 Range 07/01/2021 - 06/30/2022
 MUNIPSA Index



SIFMA / LIBOR Ratio
 Range 07/01/2021 - 06/30/2022



CREDIT MANAGEMENT

Mid-Year Reflection

Credit

The dominant story in the global economy for the first half of 2022 has been skyrocketing inflation in every region of the world. Global and domestic supply chain disruptions continue to wreak havoc on not only product and component availability but also prices paid by both producers and consumers. Consumer spending remains robust although not quite as hot as a few months ago. Personal income continues to follow the pre-pandemic trend line without the dramatic fluctuations seen the past couple years as government stimulus roiled the economy. Household debt continued to rise and approached \$16 trillion in the first quarter of 2022. After two years spent hovering around historic lows, mortgage rates finally took off and ended the first half of 2022 over 5.5 percent. Credit card debt fell slightly in the first quarter but remains \$70 billion higher than a year ago and just over \$800 billion total. After a small spike early in the pandemic, delinquency rates continued to decline to historically low levels. The Federal Reserve sprang into action in the first half as runaway inflation threatened economic growth and the financial health of consumers.

As interest rates finally started to rise, the increase in corporate debt continued and now stands in excess of \$12 trillion. The ratio of corporate debt to GDP remains steady above 50 percent, a very high level historically and a number not breached until 2020. Investment grade securities made up the vast majority of bond sales in the first half of 2022 as investors sought safety over yield. Continuing a trend

that began in 2020, corporate bankruptcies continue to plummet to historic lows. Spreads on investment grade corporate debt finally began to rise after remaining low for all of 2021 and now sit around the 10-year average. The Senior Loan Officer Opinion Survey on Bank Lending Practices, or SLOOS, reported that lending standards for all types of loans to commercial and industrial firms continued to ease in the first quarter of 2022, continuing a trend from the previous year. Banks reported that standards for all categories of consumer loans were eased as well as demand for consumer credit began to pick up after a relatively flat 2021.

The first half of 2022 saw no changes in the Corporate Credit Approved list as reported in Appendix A. After dropping weaker names in the past couple years, the list now consists of profitable, stable companies with solid credit profiles.

Credit Process

Our credit strategy invests in creditworthy corporate issuers having a long-term rating of A3/A-/A- or better as rated by Moody's, S&P, or Fitch. The strategy focuses on adding value through a disciplined approach in the credit selection process. With independent research and prudent diversification with respect to industries and issuers, our goal is to deliver consistent longer-term investment performance over U.S. Treasuries.

Default Monitoring

The Bloomberg credit risk model is the main tool for default monitoring. The default likelihood model is based on the Merton distance-to-default (DD) measure, along with

CREDIT MANAGEMENT

additional economically and statistically relevant factors. Firms are assigned a default risk measure as a high-level summary of their credit health using an explicit mapping from default likelihood to default risk.

A daily report is generated using our credit approved list and their peers enabling us to track market activity in selected names including Credit Default Swaps (CDS).

Industry/Company Analysis

We use a combination top-down and bottom-up approach for investing. The top-down approach refers to understanding the current (and future) business cycle or the “big picture” of the economy and financial world in order to identify attractive industries. Once industries are identified, a bottom-up approach is utilized where we focus on specific company fundamentals, picking the strongest viewed companies within a sector.

Fundamental analysis is then performed looking at competitive position, market share, operating

history/trends, management strategy/execution, and financial statement ratio analysis.

Corporate Credit Approved List

Once analysis has been completed, the State Investment Commission approves the list on a quarterly basis. During the first half of 2022, there were no changes to the list. The Corporate Credits Approved list as of June 2022 is located in Appendix A.

State Investment Commission

The State Investment Commission (SIC) is responsible for investment oversight with members of the Commission being State Treasurer (Chair), Finance and Administration Cabinet Secretary, State Controller and two Gubernatorial Appointees. The investment objectives are three-fold: preservation of principal, maintain liquidity to meet cash needs and finally maximization of returns. The Office of Financial Management is staff to the SIC and follows KRS 42.500, 200 KAR 14.011, 14.081, and 14.091 when making investment decisions.

DEBT MANAGEMENT



Authorized But Unissued Debt

As of June 30, 2022, the Commonwealth's 2023-2024 budget includes authorized debt service for over \$4.432 billion of projects supported by the General Fund, Agency Funds, and the Road Fund, which were approved during prior sessions of the General Assembly. This pipeline of projects is anticipated to be financed over a number of future biennia bond transactions. The speed at which this financing takes place is dependent upon factors managed by and between the project sponsors, the Office of the State Budget Director and the Office of Financial Management

2010 Extraordinary (Special) Session

The 2010 Extraordinary (Special) Session of the General Assembly delivered House Bill 1 (Executive Branch Budget other than Transportation Cabinet) and House Bill 3 (Kentucky Transportation Cabinet Budget) to the Governor on May 29, 2010, establishing an Executive Branch Budget for the biennium ending June 30, 2012. The Governor took final action on the bills on June 4, 2010. Together, the bills authorized bond financing for projects totaling \$1,980.2 million to support various capital initiatives of the Commonwealth. Of the total authorization, \$507.4 million is General Fund supported, \$515.3 million is Agency Restricted Fund supported, \$522.5 million is supported by Road Fund appropriations and \$435 million is Federal

Highway Trust Fund supported through Grant Anticipation Revenue Vehicle Bonds designated for the US-68/KY-80 Lake Barkley and Kentucky Lake Bridges Project and the Louisville-Southern Indiana Ohio River Bridges Project. A portion of the General Fund and Road Fund authorizations and all of the Agency Restricted Fund and Federal Highway Trust Fund authorizations have been permanently financed. House Bill 201 from the 2018 Regular Session of the General Assembly deauthorized \$59.5 million of Grant Anticipation Revenue Vehicle (GARVEE) Bonds which were not needed to complete the Lake Barkley and Kentucky Lake Bridges Project.

2012 Regular Session

The 2012 Regular Session of the General Assembly delivered House Bill 265 (Executive Branch Budget other than Transportation Cabinet) to the Governor on March 30, 2012 and House Bill 2 (Kentucky Transportation Cabinet Budget) to the Governor on April 20, 2012, establishing an Executive Branch Budget for the biennium ending June 30, 2014. The Governor took final action on House Bill 265 on April 13, 2012 and took final action on House Bill 2 on May 2, 2012. Together, the bills authorized bond financing for projects totaling \$238.86 million to support various capital initiatives of the Commonwealth. Of the total authorization, \$182.86 million is General Fund supported, \$12.5 million is

DEBT MANAGEMENT

supported by Road Fund appropriations, and \$43.5 million is Agency Restricted Fund supported. A portion of the General Fund authorization and the total Agency Restricted Fund authorizations listed above have been permanently financed.

2014 Regular Session

The 2014 Regular Session of the General Assembly delivered House Bill 235 (Executive Branch Budget other than Transportation Cabinet) to the Governor on March 31, 2014 and House Bill 236 (Kentucky Transportation Cabinet Budget) to the Governor on April 15, 2014, establishing an Executive Branch Budget for the biennium ending June 30, 2016. The Governor took final action on House Bill 235 on April 11, 2014 and took final action on House Bill 236 on April 25, 2014. Together, the bills authorized bond financing for projects totaling a net amount of \$1,364.05 million to support various capital initiatives of the Commonwealth whereas \$105 million in previously authorized debt that was de-authorized in House Bill 235. Of the total authorization, \$742.77 million is General Fund supported, \$721.28 million is supported by Agency Restricted Fund appropriations, and \$5.0 million is Road Fund supported. A portion of the General Fund and the total Agency Restricted Fund and Road Fund authorizations listed above have been permanently financed.

2016 Regular Session

The 2016 Regular Session of the General Assembly delivered House Bill 303 (Executive Branch Budget other than the Transportation Cabinet) and House Bill 304 (Kentucky Transportation Cabinet Budget) to the Governor

on April 15, 2016, establishing an Executive Branch Budget for the biennium ending June 30, 2018. The Governor took final action on House Bill 303 and House Bill 304 on April 27, 2016. Together, the bills authorized bond financing for projects totaling a net amount of \$1,251.24 million to support various capital initiatives of the Commonwealth with \$9.0 million of previously authorized debt de-authorized in House Bill 303. Of the total authorization, \$582.99 million is General Fund supported and \$677.25 million is supported by Agency Restricted Fund appropriations. No additional Road Fund supported authorizations were appropriated. A portion of the General Fund and Agency Restricted Fund authorizations listed have been permanently financed.

2018 Regular Session

The 2018 Regular Session of the General Assembly delivered House Bill 200 (Executive Branch Budget other than Transportation Cabinet) to the Governor on April 2, 2018 and House Bill 201 (Kentucky Transportation Cabinet Budget) to the Governor on April 14, 2018, establishing an Executive Branch Budget for the biennium ending June 30, 2020. The Governor vetoed House Bill 200 on April 9, 2018 and on April 13, 2018 the General Assembly enacted House Bill 200 over the Governor's veto. On April 14, 2018, the General Assembly delivered House Bill 265 (amending the 2018-2020 Executive Branch Budget Bill) to the Governor. The Governor took final action on House Bill 201 on April 26, 2018. House Bill 265 became law without the Governor's signature on April 27, 2018. Together, the bills authorized bond financing for projects totaling a net amount of \$972.7 million

DEBT MANAGEMENT

to support various capital initiatives of the Commonwealth whereas \$26.62 million in previously authorized debt was de-authorized in House Bill 200 and House Bill 201. Of the total authorization, \$396.44 million is General Fund supported and \$602.89 million is supported by Agency Restricted Fund appropriations. A portion of the General Fund and Agency Restricted Fund authorizations have been permanently financed.

2019 Regular Session

The 2019 Regular Session of the General Assembly delivered House Bill 268 to the Governor on March 14, 2019. House Bill 268 authorized general fund bond supported projects totaling \$75 million to support various capital initiatives of the Commonwealth. The Governor took final veto action on House Bill 268 on March 26, 2019. The Legislature partially overrode the Governor's vetoes on March 28, 2019. The total authorization under House Bill 268 is General Fund supported. A portion of the General Fund authorizations have been permanently financed.

2020 Regular Session

The 2020 Regular Session of the General Assembly delivered House Bill 99 to the Governor on March 18, 2020 and delivered House Bill 352 (Executive Branch Budget other than the Transportation Cabinet) and House Bill 353 (Kentucky Transportation Cabinet Budget) to the Governor on April 1, 2020, establishing an Executive Branch Budget for the first year only of the biennium ending June 30, 2022. The Governor signed House Bill 99 on March 25, 2020 and vetoed certain line items in House Bill 352 and House Bill 353 on April 13, 2020. The

General Assembly overrode all gubernatorial vetoed line items on April 15, 2020. Together, the bills authorized bond financing for projects totaling a net amount of \$351.67 million to support various capital initiatives of the Commonwealth. The total authorization is General Fund supported. Agency Fund projects totaling \$429.80 million were listed without debt service appropriation. No additional Road Fund supported authorizations were appropriated. A portion of the General Fund and Agency Restricted Fund authorizations have been permanently financed.

2021 Regular Session

The 2021 Regular Session of the General Assembly delivered House Bill 192 (Executive Branch Budget other than the Transportation Cabinet) to the Governor on March 16, 2021, and House Bill 193 (Kentucky Transportation Cabinet Budget) to the Governor on March 29, 2021, establishing an Executive Branch Budget for the second year of the biennium ending June 30, 2022. The Governor vetoed certain line items in House Bill 192 on March 26, 2021, and the General Assembly overrode certain gubernatorial vetoed line items on March 29, 2021, enacting House Bill 192 as vetoed in part. The Governor took final action on House Bill 193 on April 7, 2021. Together, the bills authorized bond financing for projects totaling a net amount of \$455.35 million, to support various capital initiatives of the Commonwealth. Of the total authorization, \$98.35 million is General Fund supported and \$357 million is supported by Agency Fund appropriations. No additional Road Fund supported authorizations were appropriated.

DEBT MANAGEMENT

2022 Regular Session

The 2022 Regular Session of the General Assembly delivered House Bill 1 (Executive Branch Budget other than the Transportation Cabinet) and House Bill 241 (Kentucky Transportation Cabinet Budget) to the Governor on March 30, 2022, establishing an Executive Branch Budget for the biennium ending June 30, 2024. The Governor vetoed certain line items in House Bill 1 and House Bill 241 on April 11, 2022. The General Assembly overrode certain gubernatorial vetoed line items in House Bill 1 and overrode all gubernatorial vetoed line items in House Bill 241 on April 13, 2022. Together, the bills authorize bond financing for projects totaling a net amount of \$3,767.21 million to support various capital initiatives of the Commonwealth. Of the total authorization, \$2,834.13 million is General Fund supported, and \$933.08 million is supported by Agency Fund appropriations. No additional Road Fund authorizations were appropriated.

DEBT MANAGEMENT

Authorized but Unissued Debt Summary

The balance of prior bond authorizations of the General Assembly dating from 2010 through 2022 totals \$4,432.28 billion. Of these prior authorizations, \$3,168.74 million is General Fund supported, \$1,201.04 million is Agency Fund supported, \$62.50 million is supported by Road Fund appropriations.

The following table summarizes, in aggregate, the information in connection with authorized but unissued debt of the Commission as described in this section.

Summary of Authorized but Unissued Debt by Fund Type As of June 30, 2022:

Legislative Session (Year)	General Fund (millions)	Agency Fund (millions)	Road Fund (millions)	TOTAL (millions)
2010	\$ 23.10	\$ 17.50	\$ 50.00	\$ 90.60
2012	2.17	-	12.50	14.67
2014	12.43	-	-	12.43
2016	44.81	-	-	44.81
2018	188.91	6.53	-	195.44
2019	67.46	-	-	67.46
2020-2021	245.73	243.93	-	489.66
2022	2,834.13	933.08	-	3,767.21
Bond Pool Proceeds	(250.00)			(250.00)
TOTAL	\$ 3,168.74	\$ 1,201.04	\$ 62.50	\$ 4,432.28

The balance of prior bond authorizations of the General Assembly dating from FY 2010 through FY 2022 totals \$4,432.28 million. Of these prior authorizations, \$3,168.74 million is General Fund supported, \$1,201.04 million is Agency Restricted Fund supported, and \$62.5 million is supported by Road Fund appropriations.

Looking Forward

The Commission continues to monitor the municipal bond interest rate market and uses this information together with other relevant market

data to evaluate whether or not the interim financing program would provide an economic advantage in conjunction with the fixed rate bonds.

DEBT MANAGEMENT

Ratings Update

The rating agencies continually monitor the Commonwealth's budgetary policies and actual performance in areas such as revenue, the economy, pensions, and debt management. Pension unfunded liabilities have continued to put downward pressure on the Commonwealth's credit ratings.

With the issuance of The Turnpike Authority of Kentucky Economic Development Road

Fund Revenue Refunding Bonds (Revitalization Projects) in October of 2021, the determination was made to add Kroll Bond Rating Agency's evaluation to the bond issuance.

During the reporting period, the remaining ratings below were either affirmed or remained unchanged from the previous reporting period.

The Ratings Picture at June 30, 2022:

	Moody's	S & P	Fitch	Kroll
General Obligation Issuer Rating (GO)	Aa3	A	AA-	AA-
General Fund Appropriation Rating (GF) ⁱ	A1	A-	A+	A+
Road Fund Appropriation Rating (RF) ⁱ	Aa3	A-	A+	AA-
Federal Highway Trust Fund Appropriation Rating ⁱ	A2	AA	A+	

ⁱAll outstanding bonds do not necessarily receive a rating from every rating agency

DEBT MANAGEMENT

Cash Management Strategies

All cash management strategies are market and interest rate dependent. Historical alternatives are listed below:

Tax and Revenue Anticipation Notes (TRAN)

TRANs can provide liquidity or leverage the difference between taxable and tax-exempt interest rate markets to create economies that provide a financial benefit to the Commonwealth. Market conditions did not provide a beneficial interest rate environment, so no TRANs were issued during the reporting period.

Inter-Fund Borrowing

Cash in one fund is loaned to another fund which is experiencing a short-term cash flow shortfall. Historically, funds are loaned to the short-term fund (General Fund).

As of June 30, 2022 the total available liquid resources available to the General Fund was \$11.668 billion.

Bond Anticipation Notes (BAN)

A short-term interest-bearing security issued in advance of a larger, future bond issue. Bond anticipation notes are smaller short-term bonds that are issued to generate funds for upcoming projects.

No BANs were issued during the reporting period

Notes (Direct Loans)

"Funding notes" means notes issued under the provisions of KRS 56.860 to 56.869 by the commission for the purpose of funding:

(a) Judgments, with a final maturity of not more than ten (10) years; and

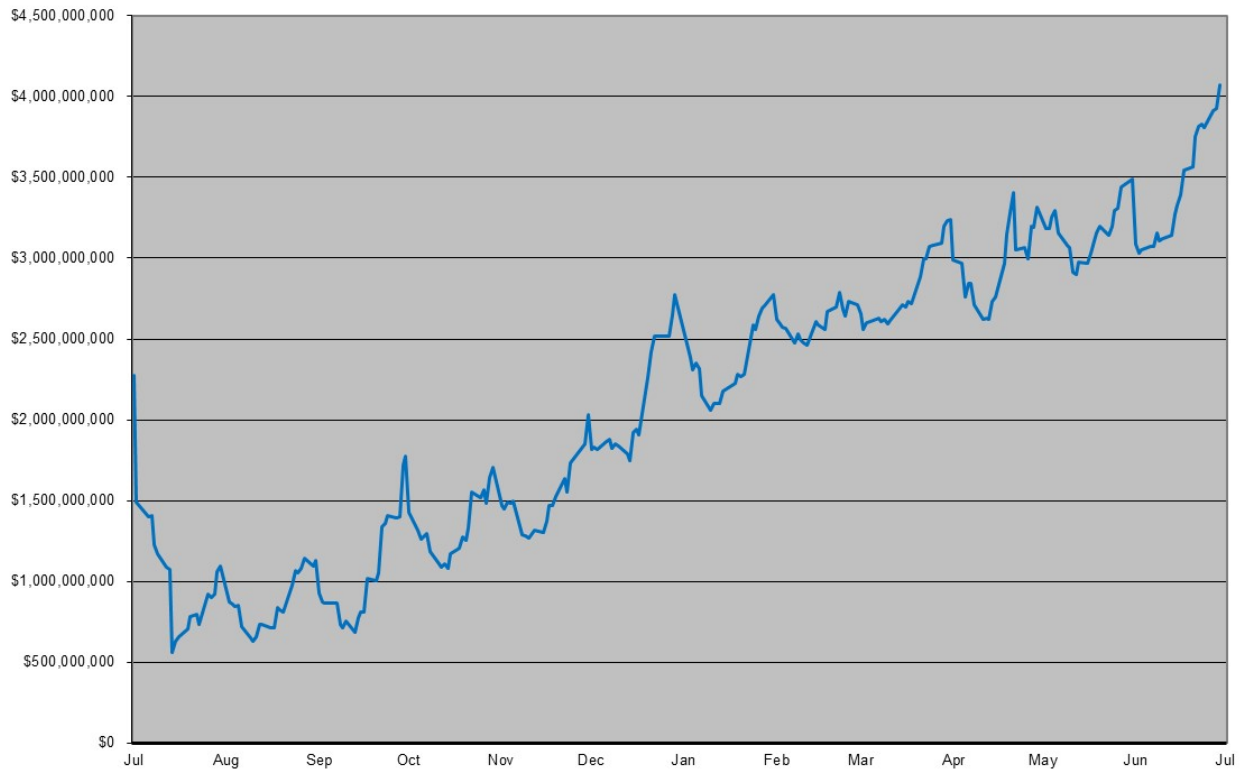
(b) The finance or refinance of obligations owed under KRS 161.550(2) or 161.553(2)

"Project notes" means notes issued under the provisions of KRS 56.860 to 56.869 by the commission with a final maturity of not more than twenty (20) years for the purpose of funding authorized projects, which may include bond anticipation notes.

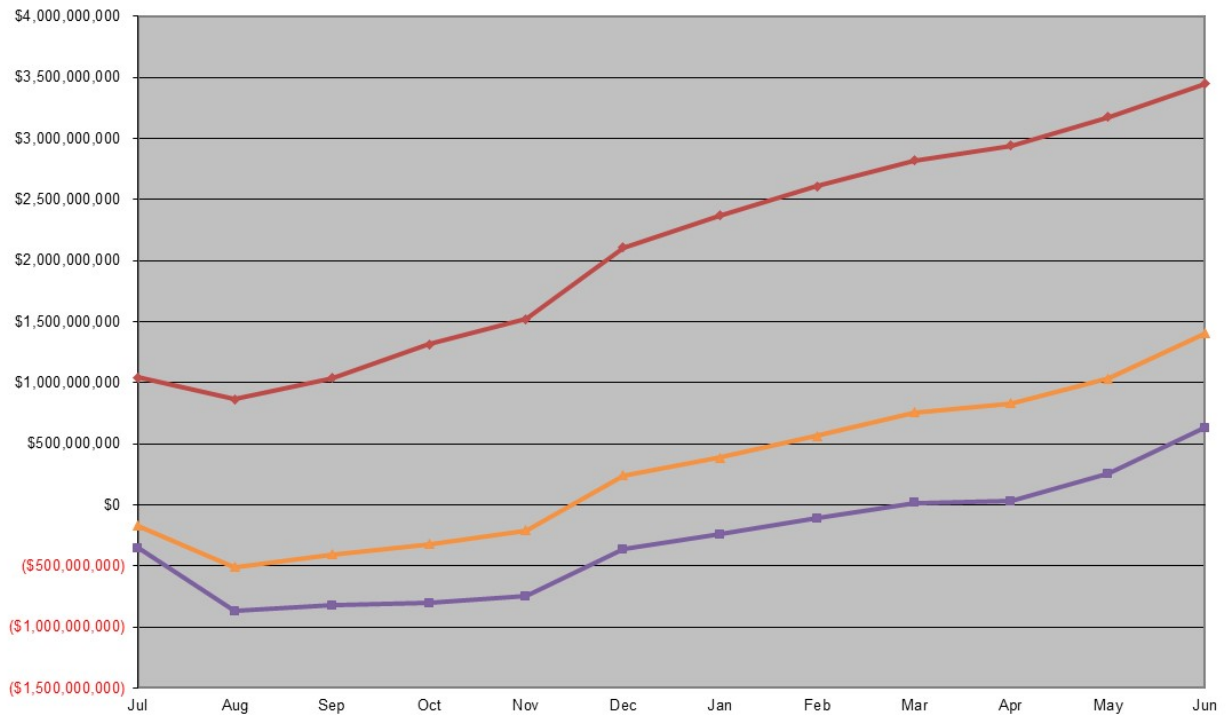
No Notes were issued during the reporting period

DEBT MANAGEMENT

General Fund Cash Balance
Fiscal Year 2022



GENERAL FUND MONTHLY AVERAGE
(Excluding TRAN Proceeds)



DEBT MANAGEMENT

ALCo Financial Agreements

As of June 30, 2022, ALCo had no outstanding financial agreements.

Asset/Liability Model

General Fund

The total SPBC debt portfolio as of June 30, 2022 had \$2.772 billion of bonds outstanding with a weighted average coupon of 4.83 percent and a weighted average life of 6.17 years. The average coupon reflects an amount of taxable bonds issued under the Build America Bond Program during 2009 and 2010 as well as continued investor preference for tax-exempt callable premium bonds in the current market at a yield lower than par or discount coupon bonds. The \$1.118 billion callable portion had a weighted average coupon of 4.66 percent. The SPBC debt structure has 44.51 percent of principal maturing in 5 years and 76.82 percent of principal maturing in 10 years which is primarily influenced by the minimal amount of long-term new money permanent financings within the last several years.

The General Fund had a maximum balance of \$4.089 billion on June 30, 2022, and a low of \$558.3 million on July 14, 2021. The average and median balances were \$2.108 billion and \$2.272 billion, respectively. Return on investable balances is impacted by investment earnings, fees and mark-to-market rules on the underlying investments. There is little, if anything, that can be done from an asset management point of view beyond current actions.

From a liability management perspective, total

Commonwealth General Fund debt service, net of credits was \$577.53 million for Fiscal Year 2022. In addition to the Commonwealth General Fund debt service, General Fund debt service of \$11.257 million was provided for an Eastern State Hospital financing that was issued through the Lexington-Fayette Urban County Government in 2011. Also, General Fund debt service of \$15.545 million was provided for the 2015 and 2018 Certificates of Participation (related to the two Commonwealth State office Building projects). These projects are separately identified because they are not direct obligations of the Commonwealth, but they are General Fund supported. Net interest margin will continue to be negative due to low cash balances versus outstanding fixed rate debt, low level of interest rates, and the callability of the debt portfolio.

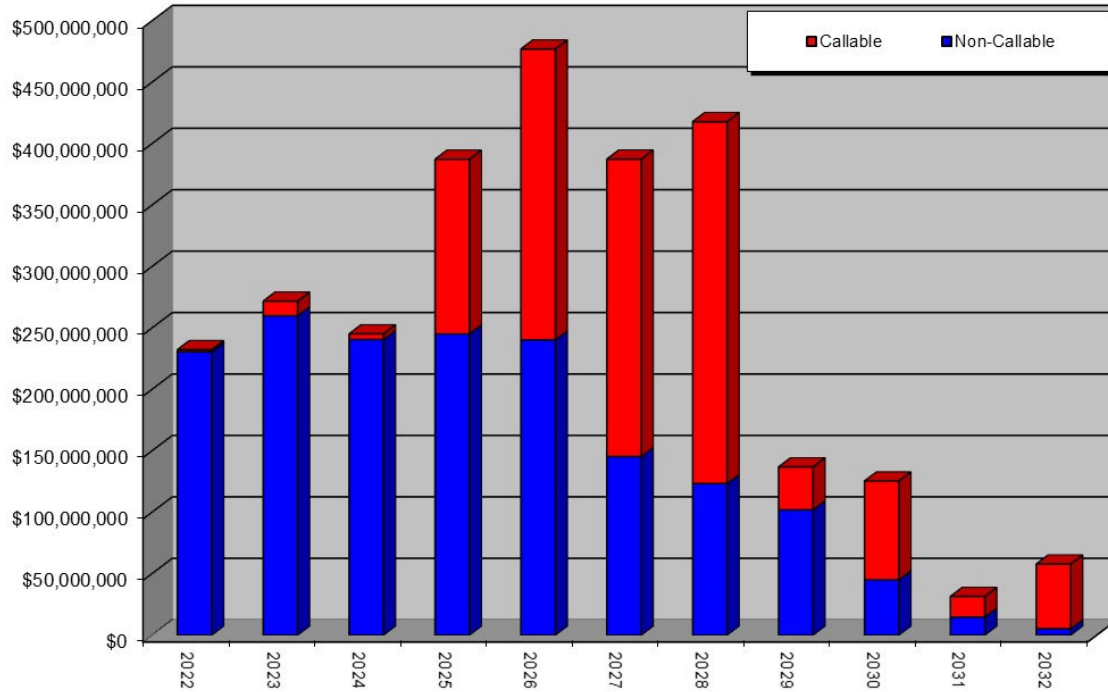
SPBC 126

On April 5, 2022, SPBC closed \$85,365,000 par of General Fund Revenue Bonds, Project No. 126, in a single series. The transaction provided permanent financing for approximately \$100 million of General Fund supported capital projects authorized over multiple sessions of the General Assembly.

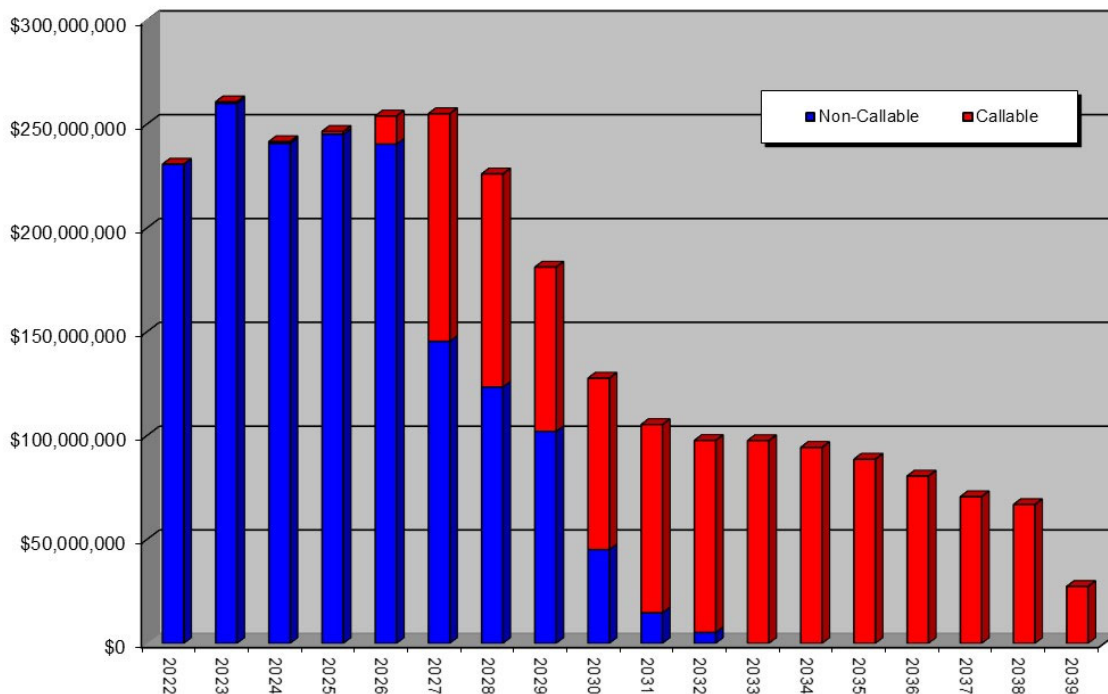
The SPBC Project No. 126 transaction achieved an All-In True Interest Cost of 3.0253 percent. The bonds were sold on a tax-exempt basis via negotiated sale with Citigroup serving as underwriter and Kutak Rock LLP as bond counsel. The bond received ratings of A1/A+ from Moody's Investors Service, Inc. and Fitch Ratings, respectively.

DEBT MANAGEMENT

**Call Analysis by Call Date
State Property and Buildings Commission Bonds**



**Call Analysis by Maturity Date
State Property and Buildings Commission Bonds**



DEBT MANAGEMENT

Looking Forward

In light of the January 1, 2018 federal tax law change that tightened the parameters by which tax-exempt municipal bonds could be advanced refunded, the Commonwealth has added to the methods of evaluation for examining potential refunding candidates. Since tax advantaged bonds are no longer eligible to be advance refunded on a tax-exempt basis, the Commonwealth now gives consideration to advance refunding its municipal bonds on a taxable basis, through a forward delivery of tax-exempt bonds or through a tender and exchange. Additional diligence and financial modeling is necessary to ensure economic savings in these transactions.

Road Fund

The Road Fund average daily cash balance for Fiscal Year 2022 was \$493 million compared to \$420 million for Fiscal Year 2021. The Road Fund cash was invested in the Intermediate Term Investment Pool which had a duration of 1.46 years as of June 30, 2022. The Road Fund earned a negative \$11 million for Fiscal Year 2022 versus a negative \$118 thousand for Fiscal Year 2021. The Road Fund earnings declined year over year because of lower short term rates and lower receipts. The continued relatively low level of investable balances at certain times during the fiscal year limits the investment opportunities.

As of June 30, 2022, the Turnpike Authority of Kentucky (TAK) had \$813.03 million of bonds outstanding with a weighted average coupon of 4.62 percent and an average life of 5.19 years.

Road Fund debt service paid in Fiscal Year 2022

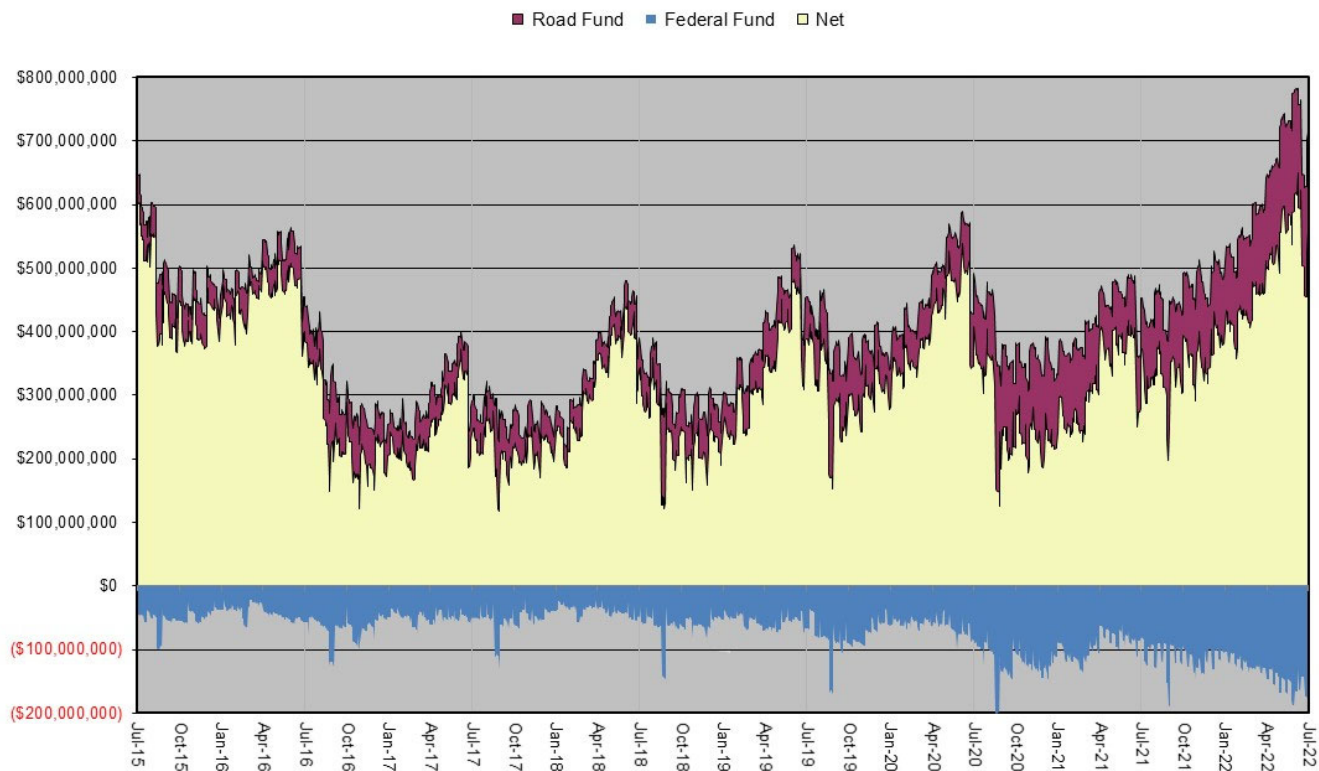
is \$137.865 million, resulting in a net interest margin (investment income earned year-to-date less debt service paid) of negative \$148.87 million. The negative amount stems from the balances and a general low level of interest rates on the investment side in addition to the limited callability of fixed rate obligations.

TAK 2021 Series A & B

On April 5, 2022, TAK closed \$56,875,000 par of Economic Development Road Revenue Refunding Bonds (Revitalization Projects), Series 2022 A (Forward Delivery). This transaction priced on September 21, 2021 with TAK 2021 Series A and Federally Taxable Series B to lock in an historic low rate. The Forward Delivery bonds refunded \$71.1 million of certain outstanding 2012 Series A bonds for net present value savings of \$17,787,267 (or 25.017 percent) and achieved an All-In True Interest Cost of 1.576 percent. The bonds were issued via negotiated sale with J.P. Morgan serving as senior managing underwriter and Dinsmore & Shohl, LLP as bond counsel. The bonds achieved ratings of Aa3 and AA- from Moody's and Kroll, respectively.

DEBT MANAGEMENT

Road Fund Available Balance
Fiscal Year 2016-2022 as of 06/30/2022



SUMMARY

ALCo’s approach to managing the Commonwealth’s interest-sensitive assets and interest-sensitive liabilities has provided flexibility and savings in financing the Commonwealth’s capital construction program.

Since its inception, ALCo has been instrumental in adding incremental returns on investment income to the Commonwealth’s investment portfolio. In fiscal 2021, ALCo was able to eliminate the Floating Rate Note hedge by refunding the remaining debt service into a fixed

rate note at historically low rates. Combined with the elimination of interest rate risk, the concessions received from the swap provider and the economic savings, this was a highly beneficial transaction for the Commonwealth.

As always, ALCo continues to analyze potential opportunities for savings and to evaluate new financing structures which offer the Commonwealth the ability to diversify risk within its portfolio while taking advantage of market demand for various new or unique products.

APPENDIX

APPENDIX A

Corporate Credits Approved For Purchase As of June 30, 2022

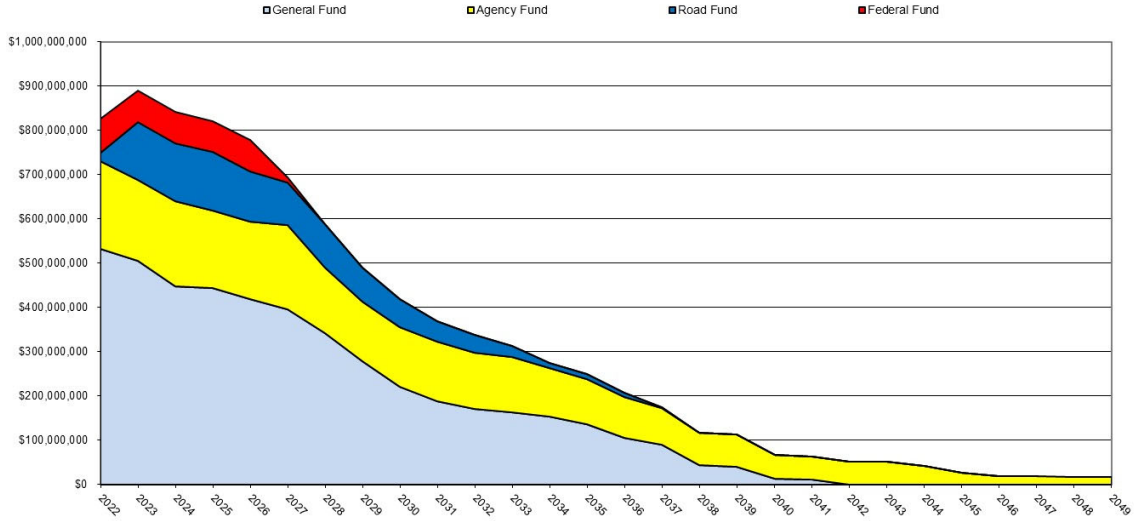
<u>Company Name</u>	<u>Repurchase Agreements</u>	<u>Money Market Securities</u>	<u>Notes</u>
Apple Inc		Yes	Yes
Bank of Montreal	Yes	Yes	Yes
Bank of Nova Scotia	Yes	Yes	Yes
Berkshire Hathaway Inc		Yes	Yes
BNP Paribas Securities Corp	Yes	Yes	Yes
BNY Mellon NA		Yes	Yes
Canadian Imperial Bank of Comm		Yes	Yes
Cantor Fitzgerald	Yes	No	No
Chevron Corp		Yes	Yes
Cisco Systems Inc		Yes	Yes
Cooperatieve Rabobank		Yes	Yes
Cornell University		Yes	No
Costco Wholesale Corp		Yes	Yes
Deere & Co		Yes	Yes
Exxon Mobil Corp		Yes	Yes
Home Depot Inc		Yes	Yes
IBRD - World Bank		Yes	Yes
Intel Corp		Yes	Yes
Johnson & Johnson		Yes	Yes
Linde PLC		Yes	Yes
Merck & Co. Inc.		Yes	Yes
Microsoft Corp		Yes	Yes
MUFG Bank LTD/NY		Yes	Yes
MUFG Securities Americas Inc	Yes	No	No
Natixis SA/New York		Yes	Yes
Nestle Finance International		Yes	Yes
PepsiCo Inc		Yes	Yes
Pfizer Inc		Yes	Yes
Procter & Gamble Co/The		Yes	Yes
Royal Bank of Canada	Yes	Yes	Yes
Royal Dutch Shell PLC		Yes	Yes
Salvation Army		Yes	No
State Street Corp		Yes	Yes
Sumitomo Mitsui Trust Bank		Yes	Yes
Swedbank AB		Yes	Yes
Texas Instruments Inc.		Yes	Yes
Toronto-Dominion Bank/The		Yes	Yes
Total SA		Yes	Yes
Toyota Motor Corp		Yes	Yes
US Bank NA		Yes	Yes
Wal-Mart Stores Inc		Yes	Yes

*Addition:

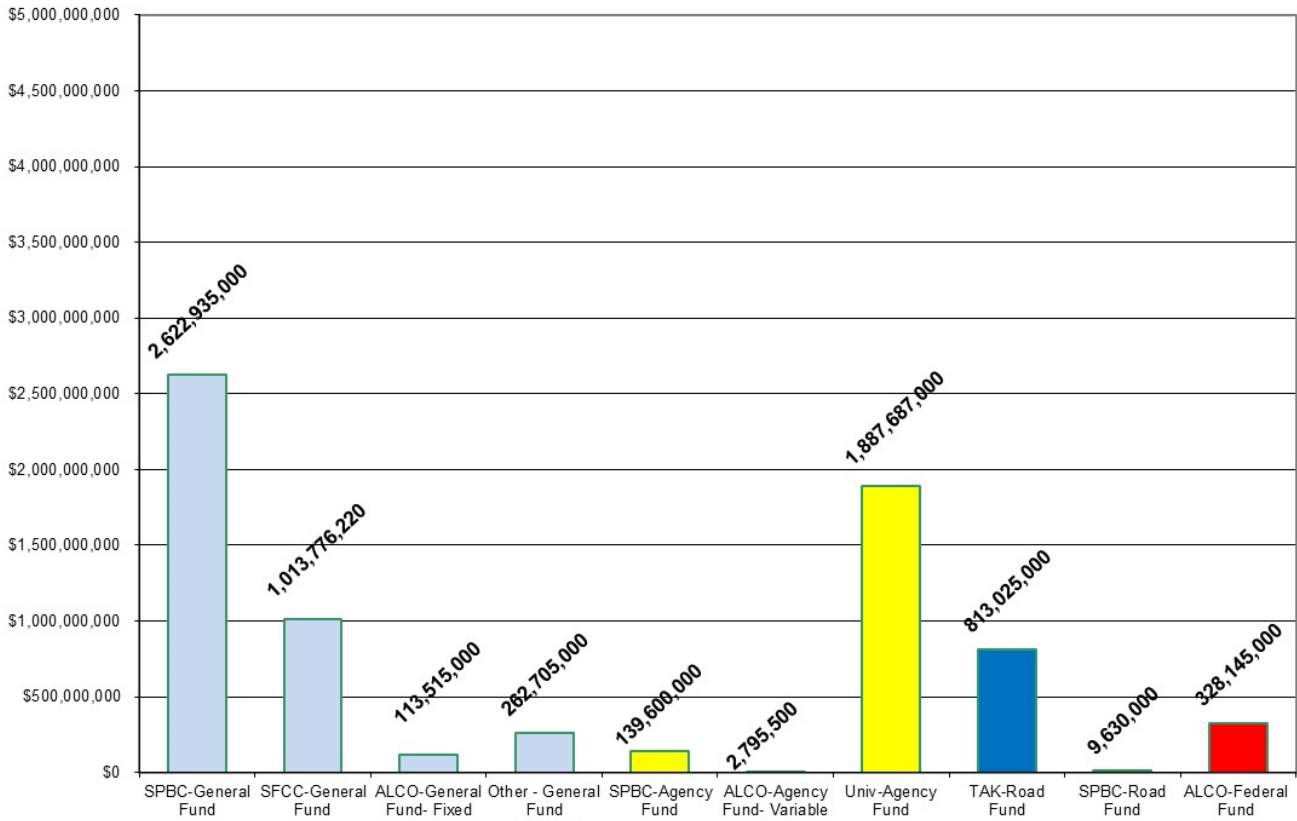
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APPENDIX B

**Appropriation Supported Debt Service
by Fund Source as of 06/30/2022**



**Appropriation Debt Principal Outstanding
by Fund Source as of 06/30/2022**



*This data does not include debt issued for judicial center projects and paid for by the Administrative Office of the Courts in the Court of Justice or debt issued by the Lexington -Fayette Urban County Government for the Eastern State Hospital.

APPENDIX C

**COMMONWEALTH OF KENTUCKY
ASSET/LIABILITY COMMISSION
SCHEDULE OF NOTES OUTSTANDING
AS OF 06/30/2022**

FUND TYPE SERIES TITLE	AMOUNT ISSUED	DATE OF ISSUE	MATURITY DATE	PRINCIPAL OUTSTANDING
General Fund Project & Funding Notes				
2013 1st Series-KTRS Funding Notes	\$153,290,000	2/2013	4/2023	\$16,860,000
2021 General Fund Refunding Project Notes	\$113,940,000	5/2021	11/2027	\$96,655,000
FUND TOTAL	\$267,230,000			\$113,515,000
Agency Fund Project Notes				
2018 Agency Fund Project Note (KCTCS)	\$27,775,000	6/2018	10/2023	\$2,795,800
FUND TOTAL	\$27,775,000			\$2,795,800
Federal Hwy Trust Fund Project Notes				
2013 1st Series	\$212,545,000	8/2013	9/2025	\$105,585,000
2014 1st Series	\$171,940,000	3/2014	9/2026	\$132,175,000
2015 1st Series	\$106,850,000	10/2015	9/2027	\$60,365,000
2020 1st Series	\$59,405,000	12/2020	9/2022	\$30,020,000
FUND TOTAL	\$550,740,000			\$328,145,000
ALCo NOTES TOTAL	\$845,745,000			\$444,455,800

REPORT PREPARED BY:



Office of Financial
Management

Commonwealth of Kentucky
200 Mero Street, 5th Floor
Frankfort, KY 40622
Phone: 502-564-2924

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TEAM 
KENTUCKY



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Barry D. Poynter
Senior Vice President
Office of Finance & Administration

Coates Box 35A, 113 Coates Building
521 Lancaster Avenue
Richmond, Kentucky 40475-3102
(859) 622-5012 • FAX: (859) 622-8822
barry.poynter@eku.edu

September 29, 2022

The Honorable Jason Howell, Co-Chair
The Honorable Chris Freeland, Co-Chair
Capital Projects and Bond Oversight Committee
Legislative Research Commission,
Capitol Annex Building
700 Capitol Avenue
Frankfort, Kentucky 40601

Dear Senator Howell, Representative Freeland and members of the Capital Projects and Bond Oversight Committee,

In accordance with provisions of KRS 45.750(1)(f)(1), KRS 164A.600, the 2022 *Acts of the Kentucky General Assembly* Chapter 199, Part II, Section 4 and Sub-section I, Sub-part 4; Eastern Kentucky University (EKU), is reporting the following actions for several Asset Preservation Pool match capital projects:

Plumbing Systems, HVAC, Water Distribution Systems, Boiler/Hot Water Systems, Cooling Tower and Chiller Systems Repair/Replacement, Mechanical Systems Repair/Renovation/Replacement- Asset Preservation Pool; Institutional Matching Funds

EKU is reporting an Asset Preservation Pool match project to address numerous building system components that will have differentiated down time across the campus in order to upgrade, renovate, repair or replace.

These numerous, related improvements are budgeted for \$8,500,000 with \$7,391,600 in Asset Preservation Pool Funds and \$1,108,400 in institutional matching funds. This project was approved by the EKU Board of Regents, OSBD and CPE, per the Asset Preservation Pool Guidelines.

Elevator Renovation/Replacement/Modernization - Asset Preservation Pool; Institutional Matching Funds

EKU is reporting an Asset Preservation Pool match project to renovate, replace and modernize elevator systems and machinery across campus. This project is budgeted for \$4,000,000 with \$3,478,400 in Asset Preservation Pool Funds and \$521,600 in institutional matching funds. This project was approved by the EKU Board of Regents, OSBD and CPE, per the Asset Preservation Pool Guidelines.

Sidewalks, Pathways, Pedestrian Entrances, Egress, Access Accommodation, Lighting Improvements - Asset Preservation Pool; Institutional Matching Funds

EKU is reporting an Asset Preservation Pool match project to upgrade and renovate campus wide pedestrian accessways, including but not limited to extensive sidewalk repairs and improvements for \$4,000,000 with \$3,478,400 in Asset Preservation Pool funds and \$521,600 in institutional matching funds. This project was approved by the EKU Board of Regents, OSBD and CPE, per the Asset Preservation Pool Guidelines.

Parking lot maintenance and improvements; exterior lighting improvements - Asset Preservation Pool; Institutional Matching Funds

EKU is reporting an Asset Preservation Pool match project to renovate and improve significant deferred maintenance for certain parking locations for \$4,000,000 with \$3,478,400 in Asset Preservation Pool funds and \$521,600 in institutional matching funds. This project was approved by the EKU Board of Regents, OSBD and CPE, per the Asset Preservation Pool Guidelines.

Electrical System Installation/Renovation/Improvements; Electrical Hardware Components Installation, Improvements - Asset Preservation Pool; Institutional Matching Funds

EKU is reporting an Asset Preservation Pool match project to renovate and upgrade numerous electrical system infrastructure components, degraded due to extensive deferred maintenance for \$5,000,000 with \$4,348,000 in Asset Preservation Pool funds and \$652,000 in institutional matching funds. This project was approved by the EKU Board of Regents, OSBD and CPE, per the Asset Preservation Pool Guidelines.

Roof Replacements and Upgrades; Structural Renovations/Upgrades; Various/Multiple Buildings/Facilities - Asset Preservation Pool; Institutional Matching Funds

EKU is reporting an Asset Preservation Pool match project to replace, renovate and upgrade several facility roof structures across campus that are at the end or near the end of their functional life, for \$6,000,000 with \$5,217,600 in Asset Preservation Pool funds and \$782,400 in institutional matching funds. This project was approved by the EKU Board of Regents, OSBD and CPE, per the Asset Preservation Pool Guidelines.

Building Interior Renovations/Repairs/Upgrades - Asset Preservation Pool; Institutional Matching Funds

EKU is reporting an Asset Preservation Pool match project to renovate and maintain several facility building interiors across campus that need structural maintenance and repair, for \$3,500,000 with \$3,043,600 in Asset Preservation Pool funds and \$456,400 in institutional matching funds. This project was approved by the EKU Board of Regents, OSBD and CPE, per the Asset Preservation Pool Guidelines.

If you have any questions, please contact Ryan D. Green, Executive Director for Budget & Financial Planning, at (859) 622-6932.

Sincerely,



Barry D. Poynter
Senior Vice President

c: Dr. Bryan Makinen, Eastern Kentucky University
Amy L. Scarborough, Eastern Kentucky University
Ryan D. Green, Eastern Kentucky University
Carla Wright, Office of State Budget Director
Shaun McKiernan, Council on Postsecondary Education



A LEADING AMERICAN UNIVERSITY WITH INTERNATIONAL REACH
DEPARTMENT OF PLANNING, DESIGN AND CONSTRUCTION

September 30, 2022

Senator Jason Howell, Co-Chair
Representative Chris Freeland, Co-Chair
Capital Projects and Bond Oversight Committee
Legislative Research Commission
Annex Room 34
702 Capitol Avenue
Frankfort, KY 40601

Dear Senator Howell, Representative Freeland, and Members of the Capital Projects and Bond Oversight Committee:

Pursuant to the provisions of House Bill 1 enacted by the 2022 Session of the Kentucky General Assembly, Western Kentucky University hereby reports the following list of asset preservation projects for fiscal years 2022-2023 and 2023-2024. These projects were approved by our Board of Regents at their June 10th, 2022 meeting. This list is preliminary in nature as the university is in the planning and programming stage and thus this list is subject to change. Should this list change, the university will report such changes to the Committee pursuant to House Bill 1. The university is very thankful for the generous appropriation of funds.

Fiscal Year 2022-2023 and Fiscal Year 2022-2024:

Steam Distribution System: Up to \$3,000,000
Exterior Lighting: Up to \$1,500,000
High Voltage Distribution System: Up to \$6,000,000
Sanitary Sewer System: Up to \$1,500,000
Fiber Optic Cabling System: Up to \$2,000,000
Building Automation System Upgrades: Up to \$2,000,000
Storm Water System: Up to 1,000,000

These projects continue the multi-year, multi-phased replacement of the existing campus wide infrastructure such as 5kv underground electrical distribution; replacement of campus underground steam lines; fiber Optic Cabling systems; exterior lighting; replace underground domestic water, sanitary sewer, and storm lines. WKU continues to experience deterioration of the existing infrastructure, and this give us a good opportunity to address and upgrade systems that have exceeded their useful life.

The Spirit Makes the Master

Western Kentucky University | 1906 College Heights Blvd. #21091 | Bowling Green, KY 42101-1091

phone: 270-745-8708 | fax: 270-745-2126 | email: pdcc@wku.edu | web: www.wku.edu

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Henry Hardin Cherry Hall Renovation; \$30,000,000

This project to renew the facility is needed to address major infrastructure upgrades, and extensive interior and exterior work. This project is a multi-phase, multi-year project that will involve various types of improvements in the existing buildings including modifications to spaces, equipment or building systems, and materials, including fire safety-exits, emergency lighting, detectors and alarm systems, and sprinklers, asbestos and lead paint abatement, air duct system cleaning, and lighting improvements. Accommodations will also be made to address ADA accessibility to better serving our students, faculty, staff, and visitors.

Please contact me if you have any questions about these projects, bryan.russell@wku.edu or 270-745-5818.

Sincerely,



Bryan B. Russell, LEED®AP
Western Kentucky University, Chief Facilities Officer

cc:

Susan Ingram Howarth, Executive Vice President Strategy, Operations and Finance
Jennifer Breiwa Smith, Executive Director, Government and External Relations
Renaldo Domoney, Assistant Vice President for Budget, Finance and Analytics